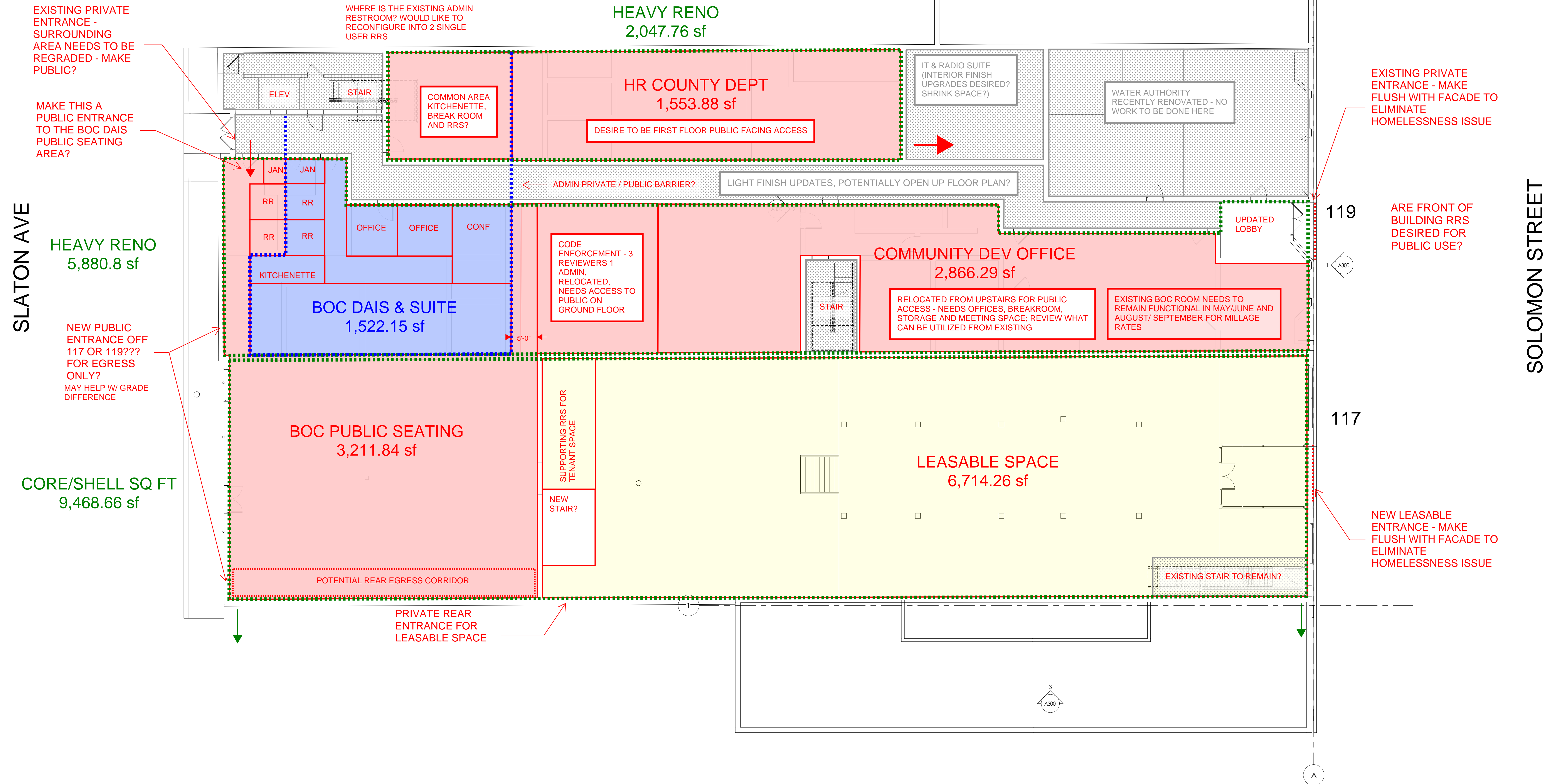


PROPOSED GROUND FLOOR

- NEEDS TO BE TRANSFERRED TO TYP SCALED DRAWING
- NEEDS TO BE VETTED BY QUESTIONAIRES
- IS IT WORTH SAVING MAIN CORRIDOR FOR COST SAVINGS WITH STRUCTURAL AND MEP SYSTEMS?
- CONFIRM ALL STAIR AND ELEVATOR LOCATIONS
- NEED TO REQUEST SURVEY OF SITE (GRADES, UTILITIES, STORM WOULD BE GOOD TO HAVE ALONG STREETS)
- COORDINATE WITH COUNTY ZONING REGARDING IF THE TWO LOTS NEED TO BE COMBINED INTO ONE
- CM@RISK DISCUSSED, ADVERTISE & INTERVIEW
- CONFIRM IF POWER POLE CAN BE RELOCATED VIA AT&T - WHERE IS THIS LOCATED?

- ADDITIONAL SCOPE ITEMS:**
- NEW ROOF FOR 119 (TEAR DOWN TO DECK)
 - GENERATOR DESIRED ON SECOND FLOOR OF 117
 - 3RD STAIR MAY BE NEEDED TO MAKE 2ND STORY OF 117 LEASABLE
 - SIDEWALK ALONG E SLATON AVE TO BE REWORKED (COUNTY SCOPE) - OKAY TO REMOVE AND REPLACE SIDEWALK
 - GRADE CHANGE BETWEEN 117 & 119 THAT WILL NEED TO BE ADDRESSED

- HEAVY RENOVATION = 7,930 SF**
(FULL GUT AND REDISTRIBUTION OF SPACES)
- MINOR RENOVATION = 1,600 SF**
(FINISH UPGRADES - CORRIDOR)
- NEW CORE/SHELL = 9,470 SF**
(NEW BUILDING STRUCTURE AND MEP SYSTEMS, SHELL SCOPE TBD, FRONT FACADE TO REMAIN)



LEVEL 1 FLOOR PLAN - PRESENTATION
1/8" = 1'-0"

PROJECT: 2024-07-23/2025
DATE: 07/23/2025
PROJECT NUMBER: R24.16449.02
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 07/23/2025
PROJECT NUMBER: R24.16449.02
SCALE: 1/8" = 1'-0"

PROPOSED SECOND FLOOR

- NEEDS TO BE TRANSFERRED TO TYP SCALED DRAWING
- NEEDS TO BE VETTED BY QUESTIONNAIRES
- IS IT WORTH SAVING MAIN CORRIDOR FOR COST SAVINGS WITH STRUCTURAL AND MEP SYSTEMS?
- CONFIRM ALL STAIR AND ELEVATOR LOCATIONS
- NEED TO REQUEST SURVEY OF SITE (GRADES, UTILITIES, STORM WOULD BE GOOD TO HAVE ALONG STREETS)
- COORDINATE WITH COUNTY ZONING REGARDING IF THE TWO LOTS NEED TO BE COMBINED INTO ONE
- CM@RISK DISCUSSED, ADVERTISE & INTERVIEW
- CONFIRM IF POWER POLE CAN BE RELOCATED VIA AT&T - WHERE IS THIS LOCATED?

- ADDITIONAL SCOPE ITEMS:**
- NEW ROOF FOR 119 (TEAR DOWN TO DECK)
 - GENERATOR DESIRED ON SECOND FLOOR OF 117
 - 3RD STAIR MAY BE NEEDED TO MAKE 2ND STORY OF 117 LEASABLE
 - SIDEWALK ALONG E SLATON AVE TO BE REWORKED (COUNTY SCOPE) - OKAY TO REMOVE AND REPLACE SIDEWALK
 - GRADE CHANGE BETWEEN 117 & 119 THAT WILL NEED TO BE ADDRESSED

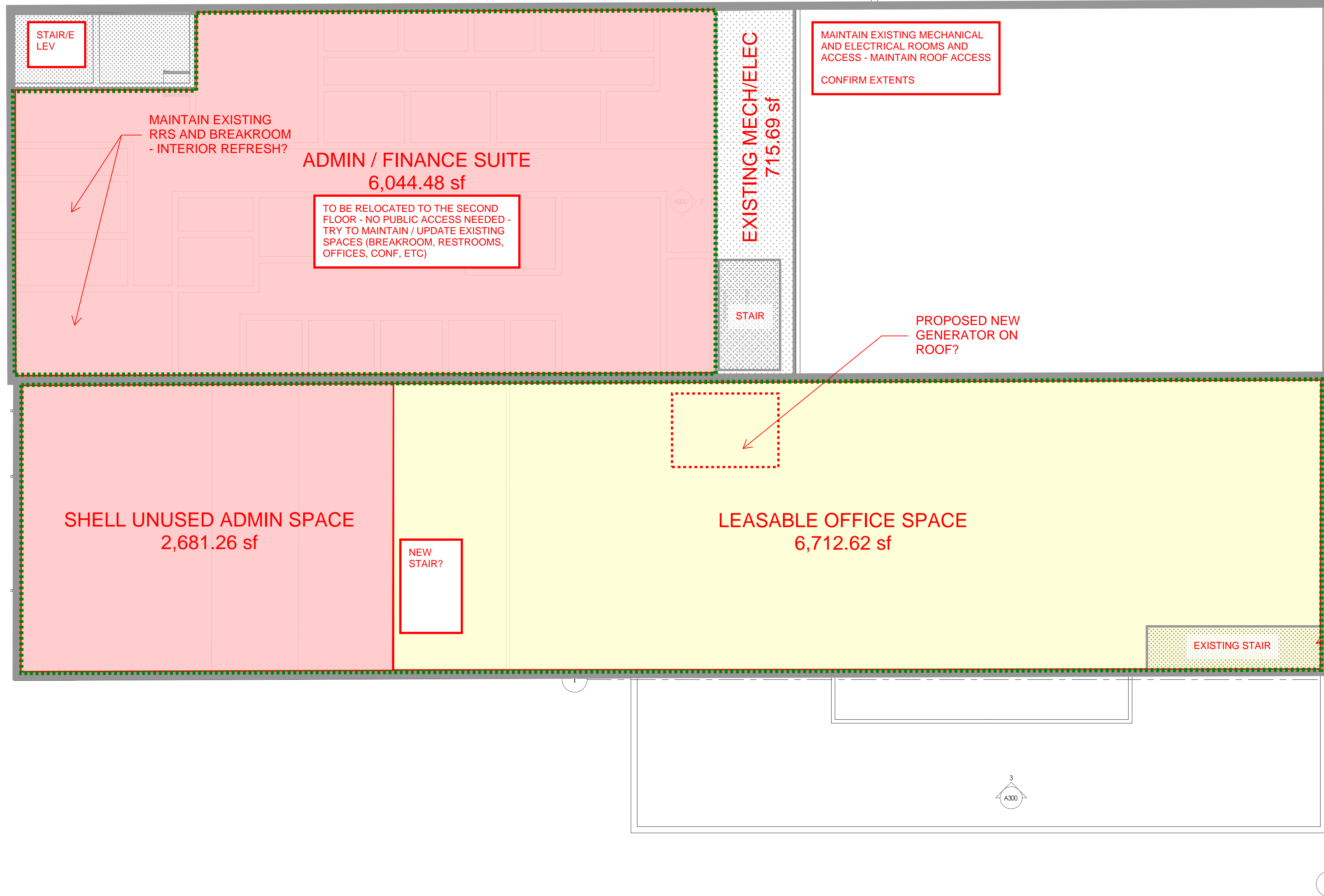
MINOR RENOVATION = 6,045 SF
 (FINISH UPGRADES - MAINTAIN EXISTING SPACES AND SYSTEMS)

NEW CORE/SHELL = 9,470 SF
 (NEW BUILDING STRUCTURE AND MEP SYSTEMS, SHELL SCOPE TBD, FRONT FACADE TO REMAIN)

SLATON AVE

MINOR RENO
6,045.01 sf

CORE/SHELL SQ FT
9,468.65 sf

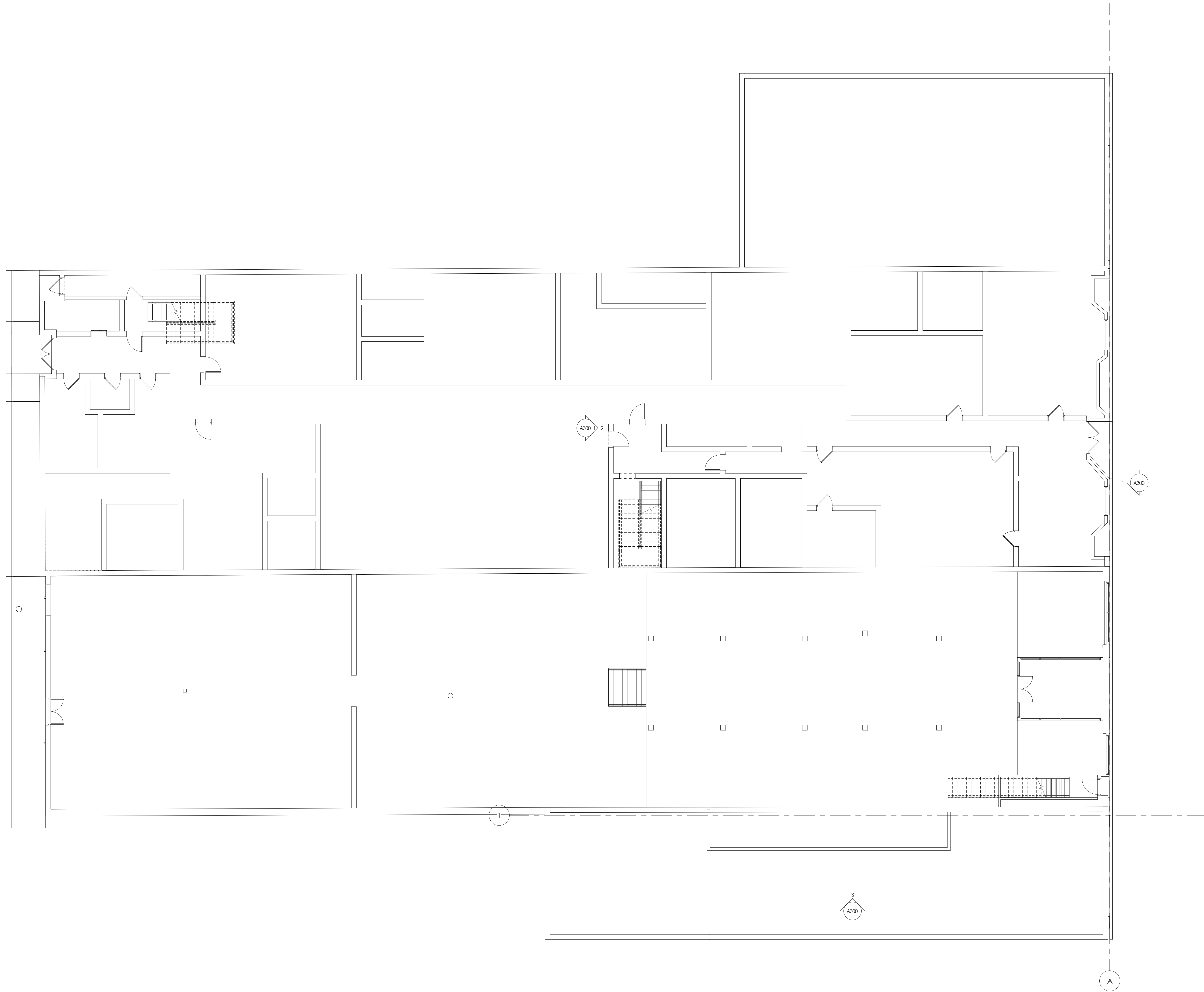


119

117

SOLOMON STREET

LVL 2 FLOOR PLAN- PRESENTATION
 1/8" = 1'-0"



LEVEL 1 FLOOR PLAN - PRESENTATION

1/8" = 1'-0"

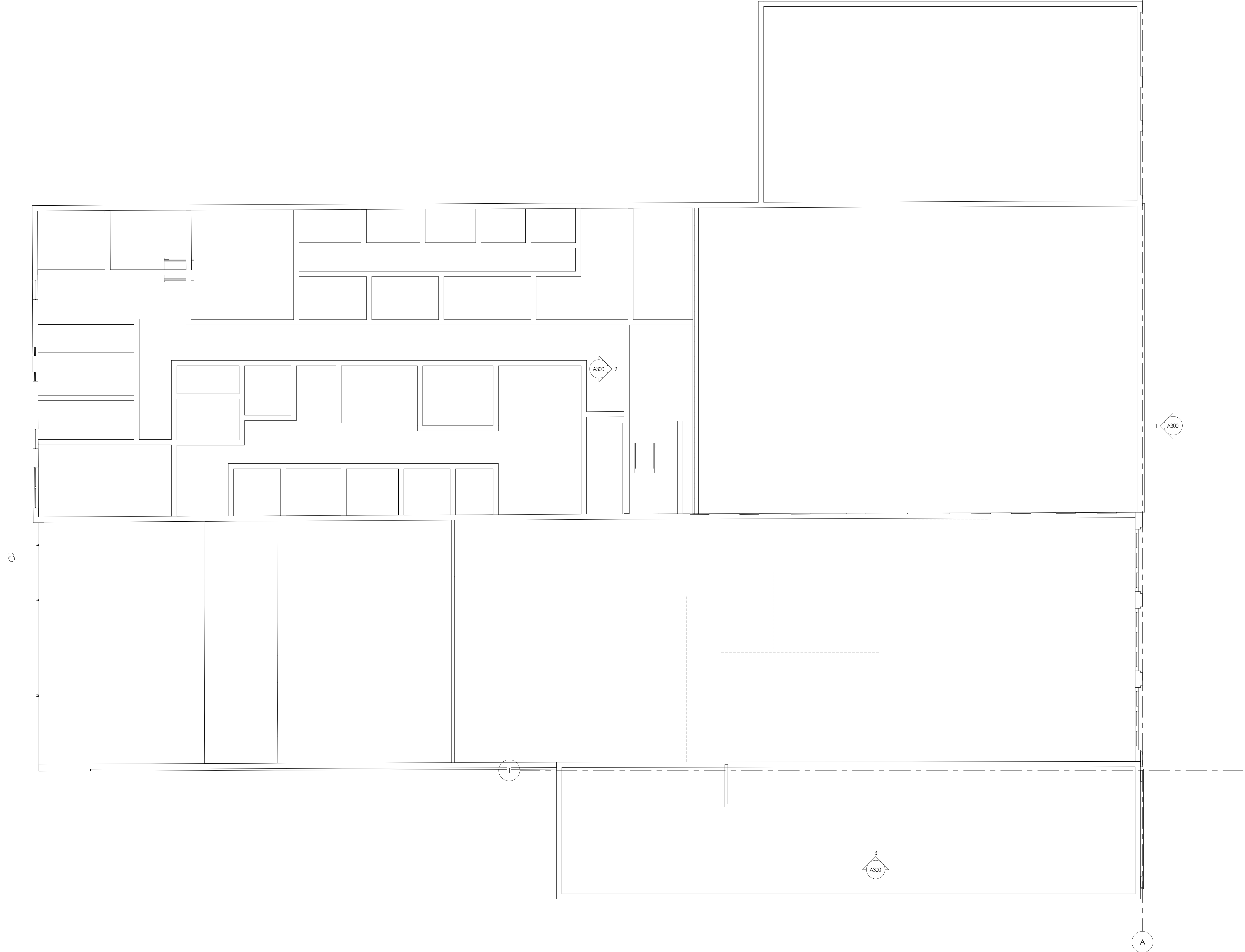
SPALDING COUNTY COURTHOUSE ANNEX

SPALDING COUNTY

FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJECT: 07/23/2025
 DATE: 07/23/2025
 PROJECT NUMBER: R24.16449.02
 SHEET: 01 - FLOOR PLAN
 1. THIS SHEET IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. THE ARCHITECT ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR OMISSIONS.
 4. THIS SHEET IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



LVL 2 FLOOR PLAN- PRESENTATION
1/8" = 1'-0"