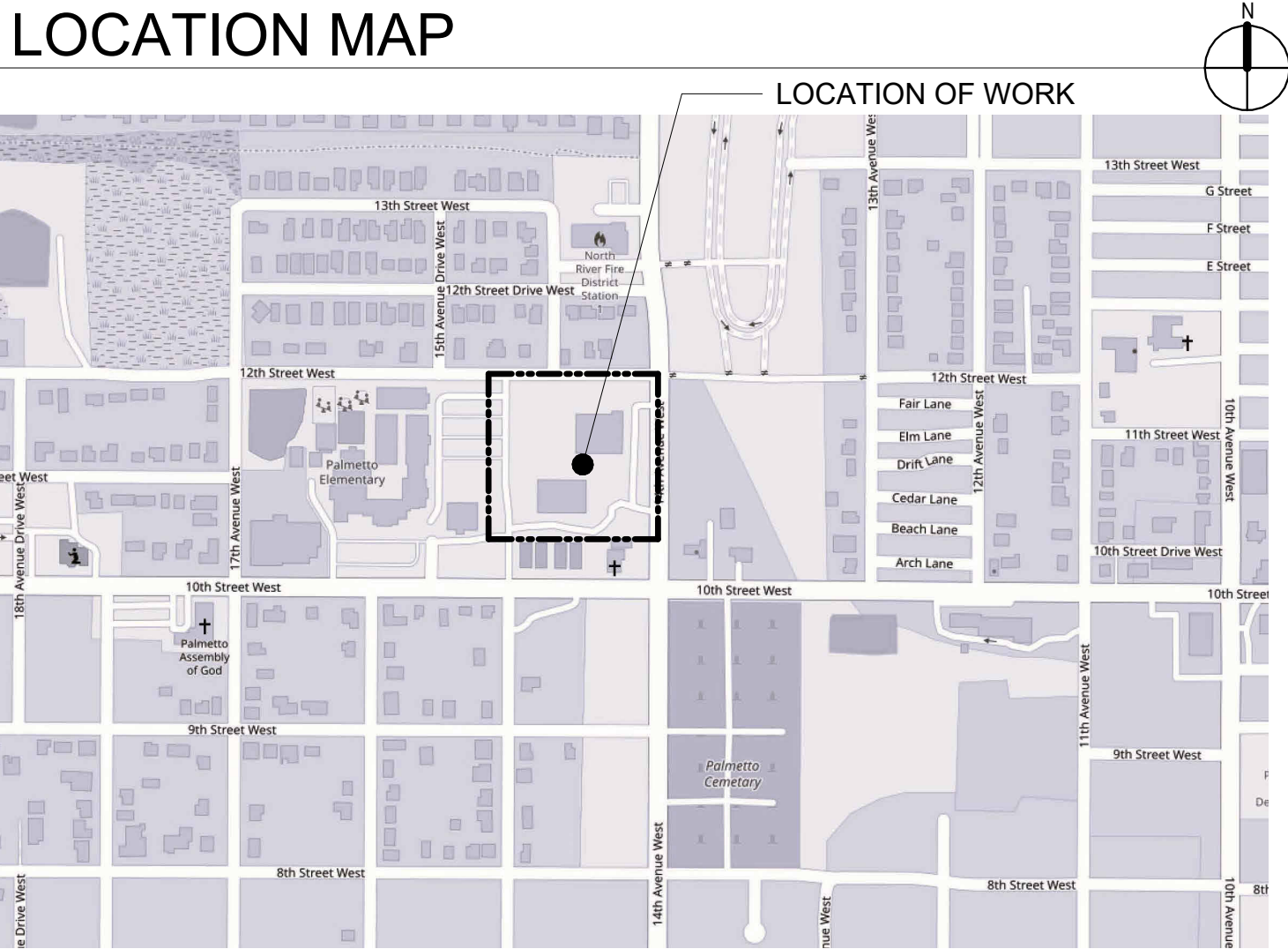




ALTERNATE BID ITEMS ABI WORK LIST

- A. ALTERNATE BID ITEM NO. 1:** PARKING AREA - STORMWATER MITIGATION, ASPHALT MILLING AND RESURFACE . CONNECT MAIN ARMORY ROOF DRAINS TO UNDERGROUND STORM DRAIN SYSTEM.
- B. ALTERNATE BID ITEM NO. 2:** UPGRADE MAIN ARMORY BUILDING INTERIOR AND EXTERIOR LIGHTING TO LED TO INCLUDE UNIT SIGN AND FLAGPOLE.
- C. ALTERNATE BID ITEM NO. 3:** REFINISH AND REPAINT COMPLETE EXTERIOR STUCCO / BRICK FACADE WITH UP TO 4 COLOR SCHEME. INCLUDE THE PAINTING OF ALL EXTERIOR HM DOORS AND FRAMES INCLUDING ALL INSIDE AND OUTSIDE FACES.
- D. ALTERNATE BID ITEM NO. 4:** COMPLETE GLAZING REPLACEMENT OF ALL EXISTING LAMINATED IMPACT GLAZING IN EXISTING ALUMINUM WINDOW FRAME SYSTEMS AT THE EXTERIOR CLERESTORY LEVEL.
- E. ALTERNATE BID ITEM NO. 5:** COMPLETE GLAZING REPLACEMENT OF ALL EXISTING LAMINATED IMPACT GLAZING IN EXISTING ALUMINUM WINDOW FRAME SYSTEMS AT ALL THE EXTERIOR 1ST FLOOR LEVEL GLAZED OPENINGS. NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY.
- F. ALTERNATE BID ITEM NO. 6:** PROVIDE NEW 20'-0" WIDE (K-8 FORCE PROTECTION) FENCE SYSTEM) DOUBLE SWING GATE WITH MANUAL FUNCTION TO SOUTH SIDE OF POV PARKING. EXISTING DEAD MAN ANCHOR LAYOUT TO BE RE-CONFIGURED FOR NEW GATE. COMPLETE FUNCTIONAL INSTALLATION REQUIRED.
- G. ALTERNATE BID ITEM NO. 7:** PROVIDE MILL AND OVERLAY OF THE NORTH & EAST POV PARKING LOT AS INDICATED IN THE ATTACHED CIVIL DRAWINGS.
- H. ALTERNATE BID ITEM NO. 8:** PROVIDE NEW DEHUMIDIFIER AND MECHANICAL AIR INSTALLED INTO THE TO THE EXISTING VAULT ROOM # 110 & #111.

LOCATION MAP

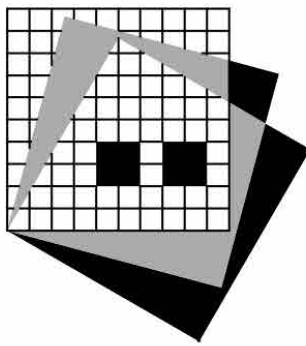


PALMETTO ESP RENOVATION

MAIN NATIONAL GUARD ARMORY BUILDING

1107 14TH AVE W, PALMETTO, FL 34221

DMA CFMO # 224004



RENKER · EICH · PARKS ARCHITECTS

LIC. AA C001447 1609 Dr. Martin Luther King Jr. Street North • St. Petersburg, Florida • 33704-4203 • (727-821-2986)

REPA Project No.: 1910.09

WEB: WWW.REPARCH.COM / EMAIL: RHEADLAND@REPARCH.COM / CELL: (727) 212-8730

CIVIL ENGINEER

HAMILTON ENGINEERING & SURVEYING, LLC.

3409 W. Lemon Street,
Tampa, Florida 33609
(t) 813.601.1849
Web: www.hamiltonengineering.us
Email: lucasc@hamiltonengineering.us

MECHANICAL, PLUMBING ENGINEER

BAL ENGINEERING, INC.

154A Whitaker Road
Lutz, Florida 33549
(t) 813.333.2103
Web: www.BALEngineering.com
Email: bryant_lyle@BALEngineering.com

ELECTRICAL ENGINEER

MPS ENGINEERING, INC.

240 Pine Avenue North
Oldsmar, Florida 34677
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Web: www.MPSENG.com
Email: edwolanin@MPSENG.com

INDEX OF DRAWINGS

COVER	IV MECHANICAL
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C2.1	M0.3
C3.1	M0.4
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II ARCHITECTURAL	M2.2
GA1.0	V PLUMBING
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A8.10	
A8.11	

06-17-26 ADDENDUM 02

PERMIT REVIEW AGENCIES

CITY OF PALMETTO

Application # TBD
Permit # TBD
601 17TH STYREET WEST, PALMETTO, FL, 34221
PHONE: (941) 721-2166

STATE FIRE MARSHALL

Application #: TBD
SFM Permit #: TBD

INSPECTOR / SOUTH-WEST REGION

MR. CODY KELLY
EMAIL : Cody.Kelly@myfloridacfo.com
PHONE : (850) 413 - 3740

FLORIDA PRODUCT APPROVAL

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER - BASIS OF DESIGN	FL PRODUCT APPROVAL NO.
PANEL WALLS	WALL LOUVER	GREENHECK FAN CORPORATION	FL 16785.1-R5
WINDOWS	FIXED	WINCO WINDOW COMPANY - MODEL #3250 FIXED	FL29634.1-R2



STATEMENT OF COMPLIANCE:
TO THE BEST OF MY KNOWLEDGE, THESE DRAWINGS AND THE PROJECT MANUAL ARE COMPLETE AND COMPLY WITH THE FLORIDA BUILDING CODE, FLORIDA BUILDING CODE (FBC) 8TH EDITION (2023) FLORIDA FIRE PREVENTION CODE 8TH EDITION (2023)

DATE: MARCH 30, 2026

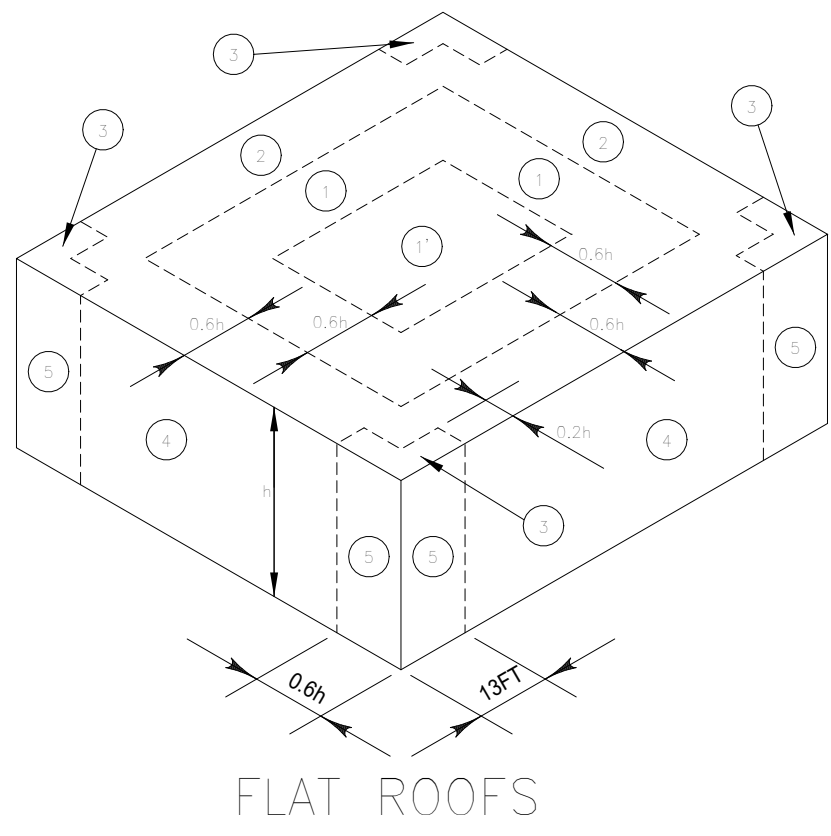
100% CONSTRUCTION DOCUMENTS

	ANCHOR BOLT	JT	JOINT
ADJUST	ACOUSTICAL	KIT	KITCHEN
ADJ	ADJUSTABLE	KW	KILOWATT
AFF	ABOVE FINISH FLOOR	L	LENGTH
AHU	AIR HANDLING UNIT	LAM	LAMINATE
ALT	ALTERNATE	LAV	LAVATORY
ALUM	ALUMINUM	LFR	LINEAR FEET
ANOD	ANODIZED	LKR	LOCKER
AP	ACCESS PANEL	LL	LEAD LINED
APC	ACOUSTIC PANEL CEILING	MCJ	MASONRY CONTROL JOINT
APPROX	APPROXIMATE	MPD	MANUFACTURED
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AT	ACOUSTICAL TILE	MH	MANHOLE
BD	BOARD	MIN	MINIMUM
BFE	BASE FLOOD ELEVATION	MIR	MORROR
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BEAM	MLDG	MOLDING
BOT	BOTTOM	MO	MASONRY OPENING
BUR	BUILT-UP ROOFING	MR	MOISTURE RESISTANT
C.F.C.I.	CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED	MRGW	MOISTURE-RESISTANT GYPSUM WALL BOARD
CAB	CABINET	MT	METAL THRESHOLD
CG	CORNER GUARD	MTD	MOUNTED
CI	CAST IRON	MTL	METAL
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CLEAR	NOM	NOMINAL
CLO	CLOSET	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OA	OVERALL
CNT	COUNTER	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CONST	CONSTRUCTION	PL	PLATE
CONT	CONTINUOUS	PLAM	PLASTIC LAMINATE
CONTR	CONTRACTOR	PLAS	PLASTER
CORR	CORRIDOR	PLUMB	PLUMBING
CPT	CARPET	PLWD	PLYWOOD
CT	CERAMIC TILE	PNT	PAINT
DET	DETAIL	PT	PRESSURE TREATED
DIA	DIAMETER	PTD	PAPER TOWEL DISPENSER
DIAG	DIAGONAL	PVC	POLYVINYL CHLORIDE
DIM	DIMENSION	QT	QUARRY TILE
DISP	DISPENSER	R	RADIUS
DN	DOWN	RC	REINFORCED CONCRETE F
DWG	DRAWING	RD	ROOF DRAIN
EB	EXPANSION BOLT	REC	RECEPTACLE
EJ	EXPANSION JOINT	REF	REFRIGERATOR
EL	ELEVATION	REG	REGLET
ELEC	ELECTRICAL	REINF	REINFORCED
ELEV	ELEVATION	REQD	REQUIRED
EP	ELECTRICAL PANEL	RM	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	SCHD	SCHEDULE
ETR	EXISTING TO REMAIN	SCRN	SCREEN
EWC	ELECTRIC WATER COOLER	SEC	SECTION
EX	EXISTING	SH	SHELF
EXP	EXPOSED	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
FC	FURRING CHANNEL	SP	SPACE
FD	FLOOR DRAIN	SPECS	SPECIFICATIONS
FE	FIRE EXTINGUISHER	SS	STAINLESS STEEL
FEC	FIRE EXTINGUISHER CABINET	STL	STEEL
FF	FINISH FLOOR	STOR	STORAGE
FHC	FIRE HOSE CABINET	STRUC	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FL	FLOOR	TB	TOGGLE BOLT
FR	FIRE RATED	TC	TOILET COMPARTMENT
GA	GAUGE	TEL	TELEPHONE
GALV	GALVANIZED	TEMP	TEMPERATURE
GC	GENERAL CONTRACTOR	TPD	TOILET PAPER DISPENSER
GFRC	GLASS FIBER REINFORCED CEMENT	TYP	TYPICAL
GFRG	GLASS FIBER REINFORCED GYPSUM	UC	UNDERCOUNTER
GL	GLASS	UTIL	UTILITY
GR	GRADE	VB	VINYL BASE
GWB	GYPSUM WALLBOARD	VERT	VERTICAL
GYP	GYPSUM	VEST	VESTIBULE
HB	HOSE BIB	VIF	VERIFY IN FIELD
HT	HEIGHT	VWC	VINYL WALLCOVERING
HVAC	HEATING, VENTILATING, & AIR CONDITIONING	W	WIDTH
ID	INSIDE DIAMETER	W/	WITH
INSUL	INSULATION	WC	WATER CLOSET
INT	INTERIOR	WD	WOOD
		WP	WEATHER PROOF
		WWF	WELDED WIRE FABRIC

	DRAWING TITLE 1/8" = 1'-0"	DRAWING TITLE VIEW SCALE
	SECTION NUMBER LOCATION SHEET	SECTION NUMBER LOCATION SHEET
	DETAIL NUMBER LOCATION SHEET	DETAIL NUMBER LOCATION SHEET
	DETAIL NUMBER LOCATION SHEET	DETAIL NUMBER LOCATION SHEET
	ELEVATION NUMBER LOCATION SHEET	ELEVATION NUMBER LOCATION SHEET
DOOR TAG	Name Elevation	ELEVATION MARK
WINDOW / LOUVER TYPE	PARTITION TYPE	STOREFRONT TYPE
SPECIFIC NOTE	STOREFRONT TYPE	

- 1 ALL DOOR FRAME OPENINGS IN MASONRY SHALL BE 3'-4" MO UNO
- 2 ALL DIMENSION STRINGS SHALL BE TO FACE OF WALL STRUCTURE
(IE CMU, MTL STUD FRAMING)
- 3 DIMENSION STRINGS NOTED AS CLEAR SHALL BE TO FACE OF
FINISHED WALL OR PARTITION (IE FACE OF GWB, PLASTER, OR TILE)
- 4 DOOR JAMB RETURNS IN MASONRY WALLS TO HINGE SIDE SHALL BE
8" NOM UNO
- 5 DOOR JAMB RETURNS IN MTL FRAMING WALLS TO HINGE SIDE
SHALL BE 4" NOM UNO

COMPONENTS AND CLADDING DESIGN ASD - NOMINAL WIND PRESSURES (PSF) BASED ON 2025 IBC 6.5.7.1. DESIGN WIND SPEED = 7-22 RISK CATEGORY IV / WIND SPEED V _(ult) 165 MPH (ULTIMATE)		
V(asd) 128 MPH (NOMINAL)		
EXPOSURE CATEGORY C / MEAN ROOF HEIGHT = 22FT		
EFFECTIVE WIND AREA: 10 SF		
ROOF SLOPE: FLAT	POS (+)	NEG (-)
ROOF ZONES		
1'	16.1	-36.3
1	16.1	-63.2
2	16.1	-83.5
3	16.1	-113.7
WALL ZONES		
4	39.7	-43.1
5	39.7	-53.2
END ZONE WIDTH (a) IS ALL PERIMETER EDGES, HIPs, RIDGES AND CORNERS $(a) = 13FT$		
PRESSURES SHOWN ARE BASED ON NOMINAL WIND U _{ULTIMATE} WIND PRESSURES DIVIDE BY $P_u = P_n / \dots$		



ISOLATE ALL DISSIMILAR MATERIALS, TYP.

B SEALERS TO BE COMPATIBLE WHERE IN CONTACT W/ ONE ANOTHER AND OTHER MATERIALS.

C CONTRACTOR SHALL HAVE PORTABLE FIRE EXTINGUISHER ON SITE AND AVAILABLE AT ALL TIMES.

D CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO PERFORM THEIR PROJECT.

E DO NOT SCALE DRAWINGS, IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT PRIOR TO CONTINUATION OF WORK.

F USER GROUP TO RELOCATE ALL NON-FIXED EQUIPMENT PRIOR TO CONTRACTORS NOTICE TO PROCEED.

G CONTRACTOR TO BE RESPONSIBLE FOR RELOCATION/ STORAGE/ RE-INSTALLATION OF ALL FIXED EQUIPMENT. CONSULT WITH OWNER REGARDING AVAILABILITY OF ON-SITE STORAGE.

H CONTRACTOR TO PROVIDE DETAILED SPECIFIC WORK PLAN WITH COMPLETE DURATION PRIOR TO STARTING ANY WORK. PRIOR TO CONTRACTORS NTP.

I ALL NEW MECHANICAL UNITS TO BE PROVIDED WITH REQUIRED REFRIDGERANT FOR FULL EFFECTIVE OPERATION.

J ANY UTILITY OUTAGE THAT EXCEEDS 2 HOURS, CONTRACTOR IS TO PROVIDE FULL PROVISION TO MAINTAIN OPERATIONS AT ALL TIMES.

K ALL EXISTING CONDITIONS ARE TO BE REVIEWED BY THE CONTRACTOR AND ACCOUNTED WITH REGARD TO THE CONTRACT SCOPE OF WORK.

L ARMORY IS TO BE OCCUPIED THROUGHOUT THE CONSTRUCTION PERIOD. FULL COORDINATION WITH THE UNIT IS REQUIREMEND FOR THE COMPLETE DURATION OF THE WORK.

M COORDINATE FOR TEMPORARY SHOWER FACILITIES / LATRINES DURING DRILL WEEK. COORDIATE WITH CFMO PM & UNIT.

PROJECT DESCRIPTION: RENOVATION OF THE EXISTING
 PALMETTO NATIONAL GUARD ARMORY
 EXISTING FLOOR PLAN GSF: 17,142 GSF
 NO NEW ADDITIONAL AREAS
 TOTAL GROSS SQUARE FEET: 17,142 GSF
OCCUPANT LOAD CALCULATIONS: TOTAL OCCUPANTS: 597
 (SEE LIFE SAFETY FOR DETAILS ON FBC TABLE 1004.5 AND NFPA 101:7.3.1.2)
OCCUPANCY CLASSIFICATION / CONSTRUCTION TYPE:
 CLASSIFICATION OF WORK: EXISTING BUILDING -
 ALTERATION LEVEL 1
 OCCUPANCY CLASSIFICATION: B - BUSINESS / A-3 ASSEMBLY
 CONSTRUCTION TYPE: TYPE IIB (UNPROTECTED)
 (NON - SPRINKLERED)
 EXISTING- 25' HIGH +/-
 1 STORY
 PROJECT HEIGHT: NON - SPRINKLERED
 NUMBER OF STORIES: YES - NEW PROVIDED
 AUTOMATIC SPRINKLERS:
 FIRE ALARM SYSTEM:

- **CIVIL:** PARKING AREA - RESEAL AND RESTRIPE THE NORTH & EAST PAVING LOT AS INDICATED IN THE ATTACHED CIVIL DRAWINGS.
- **MECHANICAL:** IN-KIND OR BETTER REPLACEMENT OF ALL SELECT MECHANICAL EQUIPMENT INCLUDING EXHAUST FANS / MAKEUP AIR ETC.
- LATRINES - REPLACE EXHAUST AIR / FIXTURE REFRESH / NEW TRENCH DRAINS IN SHOWERS.
- **ELECTRICAL:** PROVIDE SUPPORT FOR HVAC EQUIPMENT IN-KIND REPLACEMENT.
- REPLACE STARTERS IN ALL EXHAUST FAN REPLACEMENT SOW.
- INTERIOR ELECTRICAL OUTLETS - PROVIDE NEW FACEPLATES ONLY.
- EXTERIOR ELECTRICAL OUTLETS - GF / REPLACE RECEPTACLES AND WEATHERPROOF ENCLOSURES WHERE EXISTING ARE BROKEN. COLOR MATCH EXISTING.
- COMM ROOM 109 - NEW (HOFFMAN) FLOOR MOUNTED DATA CABINET PURCHASED / INSTALLED BY CONTRACTOR.
- NEW FIRE ALARM SYSTEM.
- **PLUMBING:** REPLACE EXTERIOR HOSE BIBS CONFIRM FUNCTIONALITY.
- PROVIDE NEW FLUSH VALVES & FAUCETS AT ALL EXISTING PLUMBING FIXTURES - REFRESH.
- **ARCHITECTURAL:** ROOM 107B MENS /105 WOMENS LATRINES - INSTALL FUNCTIONAL ADA SHOWER SEATS - POSTIVELY RE-ATTACH TO WALL AND PROVIDE FULL FUNCTION.
- PROVIDE IN MEN'S SHOWER AREA NEW OVERHEAD BRACED HDPE SHOWER PARTITIONS INCLUDING CURTAIN RAIL AND CURTAINS TO MATCH EXISTING IN WOMEN'S SHOWER.
- UNIT SIGN - RENOVATE / PATCH STUCCO REFINISH AND REPAINT.
- FLAG POLE - PROVIDE CONCRETE BASE FOR UPLIGHTING INSTALLATION / 10' DIA 6"THK CONCRETE SLAB. PROTECT EXISTING MEMORIAL STRUCTURE. IF ABI #4 & #5 ARE NOT SELECTED, PROVIDE THE FOLLOWING ON THE BASE BID.
- WINDOWS / WATERPROOFING - RE-CAULK - WET SEAL PERIMETER OF ALL WINDOW FRAMES TO STUCCO FACE IN ADDITION TO WET SEALING GLAZING TO WINDOW FRAME AS REQUIRED. EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN / TINT GLAZING AT DRILL HALL CLERESTORY LEVEL.
- ALL EXTERIOR BOLLARDS - REFINISH AND REPAINT WITH TRAFFIC YELLOW EPOXY / INCLUDING @ 10 BAY STORAGE BUILDING.
- SIGNAGE - EXISTING TO REMAIN / PROTECT.
- **ROOM FINISHES:** ACOUSTICAL PANEL CEILING TILES - 100% APC TILE REPLACEMENT IN DRILL HALL 131 ONLY GRID TO REMAIN / OLD DRILL HALL TILE TO BE USED TO REPLACE OLD SOILED TILE IN REMAINDER OF BUILDING.
- ALL EXISTING WINDOWS TO REMAIN - NEW ROLLER SHADES / 100% BLACKOUT FUNTION.
- ROOM 101 ENTRY VESTIBULE - PROVIDE NEW WAINSCOT AT WALL FINISH TO MATCH RECRUITERS OFFICE / CLEAN, WAX, AND BURNISH EXIST. TERRAZZO FLOOR FINISH.
- ROOM 102 / 103 RECRUITERS OFFICE - INTERIOR PAINTING ONLY. INSTALL MISSING WAINSCOT AND CHAIR RAIL.
- MAIL / COPY ROOM 108 - EPOXY FLOORING / BASE.

PROJECT DESCRIPTION: RENOVATION OF THE EXISTING
PALMETTO NATIONAL GUARD ARMORY

EXISTING FLOOR PLAN GSF: 17,142 GSF
NO NEW ADDITIONAL AREAS

TOTAL GROSS SQUARE FEET: 17,142 GSF

OCCUPANT LOAD CALCULATIONS: TOTAL OCCUPANTS: 597

(SEE LIFE SAFETY FOR DETAILS ON FBC TABLE 1004.5 AND NFPA 101:7.3.1.2)

OCCUPANCY CLASSIFICATION / CONSTRUCTION TYPE:

CLASSIFICATION OF WORK: EXISTING BUILDING -
ALTERATION LEVEL 1

OCCUPANCY CLASSIFICATION: B - BUSINESS / A-3 ASSEMBLY

CONSTRUCTION TYPE: TYPE IIB (UNPROTECTED)
(NON - SPRINKLERED)
EXISTING- 25' HIGH +/-
1 STORY
NON - SPRINKLERED
YES - NEW PROVIDED

2023	FLORIDA BUILDING CODE - BUILDING
2023	FLORIDA BUILDING CODE - EXISTING BUILDING
2023	FLORIDA BUILDING CODE - MECHANICAL
2023	FLORIDA BUILDING CODE - PLUMBING
2023	FLORIDA BUILDING CODE - FUEL GAS
2023	FLORIDA BUILDING CODE - TEST PROTOCOLS
2023	FLORIDA BUILDING CODE - ENERGY
2023	FLORIDA BUILDING CODE - ACCESSIBILITY
2020	NFPA 70 NATIONAL ELECTRICAL CODE
2023	FLORIDA FIRE PREVENTION CODE, 8th EDITION



 **RENKER • EICH • PARKS ARCHITECTS**

LIC. AA C00147 • 1609 Dr. Martin Luther King Jr. Street North • St. Petersburg, Florida • 33704-4203 • (727)-821-2986



DMA CFMO # 224004
PALMETTO ESP RENOVATION
NATIONAL GUARD ARMORY
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY:ML
REVISIONS:
 1 06-17-26 ADDENDUM 02

SHEET TITLE:
GENERAL
ARCHITECTURAL

SHEET NO.:

GA1.0

SITE PLAN LEGEND

CONCRETE
SLAB

METAL ROOFING
SYSTEM

NEW LIME ROCK
BASE / GRAVEL

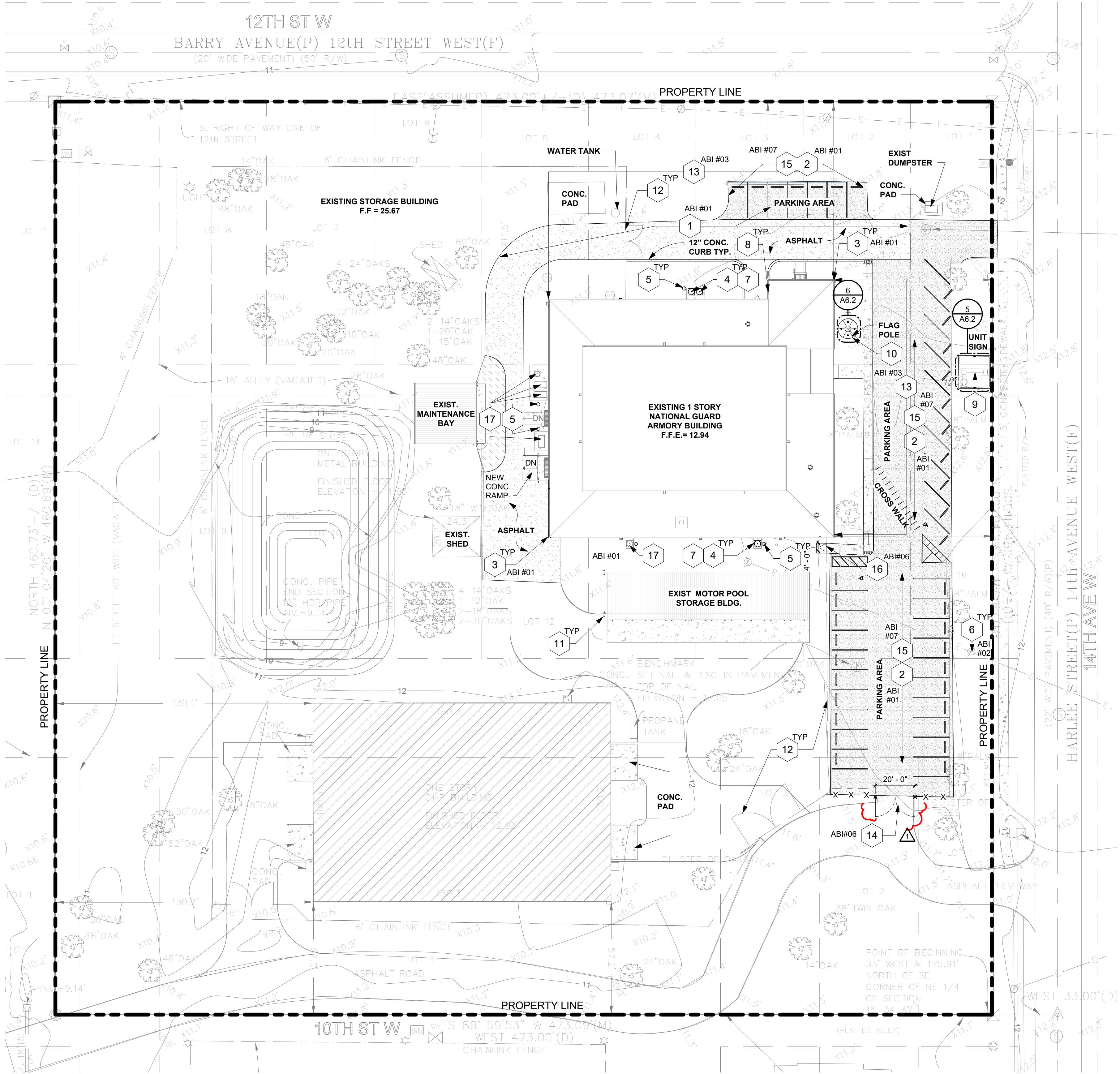
CHAIN-LINK FE-7
FENCE SYSTEM.

GENERAL SITE NOTES

- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- B ROOF SYSTEM TO REMAIN AND TO PROTECT TO ENSURE THE WARRANTY IS NOT VOIDED AND THE LIGHTNING PROTECTION MASTER LABEL CERTIFICATE IS NOT COMPROMISED. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR.
- C REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- D ALL ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK IS TO COMPLY WITH THE FBC REQUIREMENTS AND ALL AUTHORITIES HAVING JURISDICTION.
- E COORDINATE FULL SCOPE OF WORK W/ CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS.
- F VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR THE PROPOSED SCOPE OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- G AT LOCATIONS WHERE SYSTEMS AND ACCESSORIES HAVE BEEN REMOVED, PATCH AND REPAIR TO BE FLUSH AND MATCH ADJACENT FINISHES.
- H COORDINATE ALL SITE ACCESS & LAY DOWN AREA W/ OWNER.
- I SECURE ALL EXTERIOR OPENINGS IN THE BUILDING ENVELOPE AT THE END OF WORK EACH DAY.
- J PROTECT EXISTING EXFILTRATION SYSTEM FROM ALL LOADING.

SPECIFIC NOTES

- 1 IF ABI #01 IS SELECTED: NEW ASPHALT OVER NEW STORM DRAIN TO THE POND. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 2 IF ABI #01 IS SELECTED: RESURFACE & RE-STRIPE POV PARKING LOT. PROVIDE NEW REINFORCED CONCRETE AS REQUIRED. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 3 IF ABI #01 IS SELECTED: DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 4 NEW CONDENSING UNIT ON EXISTING 6" CONC. MECH. SUPPORT PADS. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 5 IF ABI #01 IS SELECTED: PREPARE AREA FOR NEW CONDENSATE CONNECTION TO NEW STORM. REFER TO MECHANICAL / CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK . REMOVE DRYWELL FROM SCOPE OF WORK IF ABI IS SELECTED. / IF ABI #01 IS NOT SELECTED: PROVIDE NEW DRYWELL. REFER TO MECHANICAL DRAWINGS.
- 6 IF ABI #02 IS SELECTED: NEW LED EXTERIOR LIGHTING FIXTURES. INCLUDING STORAGE BUILDING / UNIT SIGN / FLAG POLE / AND BUILDING MOUNTED FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 7 NEW RECEPTACLES AND WEATHERPROOF ENCLOSURES AT ALL EXTERIOR ELECTRICAL OUTLETS - GFI. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 8 NEW EXTERIOR HOSE BIBS. VERIFY TOTAL QUANTITY IN FIELD. REFER TO PLUMBING DRAWINGS.
- 9 RENOVATED UNIT SIGN. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK.
- 10 RENOVATED LED FLAG POLE LIGHT FIXTURE AND CONCRETE SLAB. FLAG POLE AND FOUNDATION TO REMAIN / PROTECT. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK. PROTECT EXISTING MEMORIAL STONE.
- 11 ALL EXTERIOR BOLLARDS - REFINISH AND REPAINT WITH TRAFFIC YELLOW EPOXY / INCLUDING @ 10 BAY STORAGE BUILDING.
- 12 EXISTING FE-7 FENCE SYSTEM / GATES TO REMAIN. PROTECT. TYP.
- 13 IF ABI #03 IS SELECTED: REFINISH AND REPAINT COMPLETE EXTERIOR STUCCO FACADE INCLUDING BRICK FACADE, AND THE PAINTING OF ALL EXTERIOR HM DOORS AND FRAMES INCLUDING ALL INSIDE AND OUTSIDE FACES. ETC. / 4 COLOR SCHEME MAX. REFER TO EXTERIOR ELEVATIONS.
- 14 IF ABI #06 IS SELECTED: PROVIDE NEW 20'-0" WIDE (K-8 FORCE PROTECTION FENCE SYSTEM) DOUBLE SWING GATE WITH MANUAL FUNCTION TO SOUTH SIDE OF POV PARKING. EXISTING DEAD MAN ANCHOR LAYOUT TO BE RE-CONFIGURED FOR NEW GATE. COMPLETE FUNCTIONAL INSTALLATION REQUIRED.
- 15 IF ABI #07 IS SELECTED: PROVIDE MILL AND OVERLAY OF THE NORTH & EAST POV PARKING LOT AS INDICATED IN THE ATTACHED CIVIL DRAWINGS.
- 16 IF ABI #06 IS SELECTED: PROVIDE NEW 4'W X 6'H SINGLE SWING FE-7 GATE. REFER TO A8.3 & A8.4 FOR TYPICAL FE-7 CHAIN-LINK FENCE & GATE DETAILS. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 17 EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS.



1
SA1.1

ARCHITECTURAL SITE PLAN
1" = 30'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

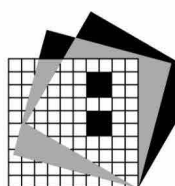
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
ARCHITECTURAL
SITE PLAN

SHEET NO.:

SA1.1



RENKER • EICH • PARKS ARCHITECTS
1609 Dr. Martin Luther King Jr. Street North • St. Petersburg, Florida • 33704-4203 • (727-821-2986)
LIC. #A 0001447

DEMOLITION SITE PLAN LEGEND

- =====

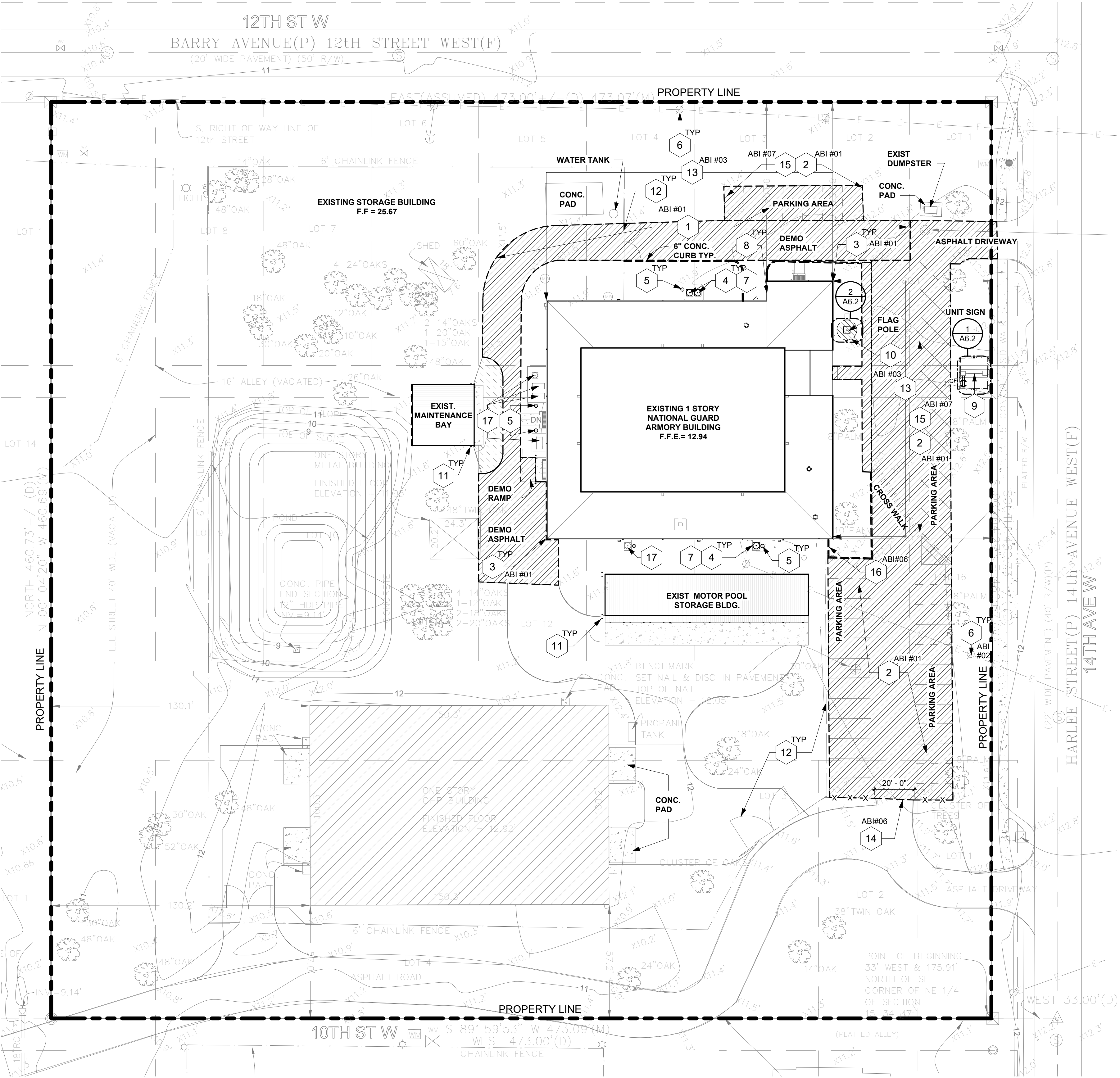
ITEM TO BE REMOVED
AND DISPOSED OF
- EXISTING TREE
TO BE REMOVED
- EXISTING CONCRETE / ASPHALT OR
SURFACE TO BE DEMOLISHED DOWN
TO CLEAN SUBSTRATE AS REQUIRED.

GENERAL SITE DEMOLITION NOTES

- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- B GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE: 4.15.2049 / ROOF SPECIFICATION I0325HGPF. UPON COMPLETION THE WORK. GC TO PROVIDE MFRG LETTER INDICATING THE WARRANTY IS STILL INTACT.
- C REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- D COORDINATE FULL SCOPE OF DEMOLITION WORK W/ CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- E EXISTING CONSTRUCTION: WALLS, CEILINGS, WINDOWS, FLOORING, EQUIPMENT, ETC. NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT.
- F CLEAN UP ON A DAILY BASIS TO MAINTAIN A SAFE AND OPERABLE FACILITY. COORDIANTE WITH GC SUPPLIED LOCATIONS OF WASTE BINS AND DUMPSTERS, AS REQUIRED FOR THE WORK.
- G THE OWNER HAS FIRST RIGHT OF REFUSAL OF ANY FURNITURE, FIXTURES AND EQUIPMENT SLATED FOR DEMOLITION.
- H PROTECT EXISTING EXFILTRATION SYSTEM FROM ALL LOADING.
- I REMOVE ALL ABANDONED DEVICES INCLUDING ALL SURFACE MOUNTED CABLE & COAX FROM BUILDING FACADE. COORD. W/ OWNER.

DEMO SPECIFIC NOTES

- 1 IF ABI #01 IS SELECTED: ASPHALT TO BE REMOVED TO INSTALL STORM DRAIN TO THE POND. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 2 IF ABI #01 IS SELECTED: EXIST. POV PARKING LOT TO BE RESURFACED & RE-STRIPED. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 3 IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 4 EXISTING CONDENSING UNIT TO BE REMOVED & DISPOSED OF. EXISTING CONC. MECH. SUPPORT PADS TO REMAIN. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 5 IF ABI #01 IS SELECTED: PREPARE AREA FOR NEW CONDENSATE CONNECTION TO NEW STORM. REFER TO MECHANICAL / CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK. REMOVE DRYWELL FROM SCOPE OF WORK IF ABI IS SELECTED. / IF ABI #01 IS NOT SELECTED: PROVIDE NEW DRYWELL. REFER TO MECHANICAL DRAWINGS.
- 6 IF ABI #02 IS SELECTED: ALL EXTERIOR LIGHTING TO BE UPGRADE TO LED INCLUDING STORAGE BUILDING / UNIT SIGN / FLAG POLE / AND BUILDING MOUNTED FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 7 REPLACE RECEPTACLES AND WEATHERPROOF ENCLOSURES AT ALL EXTERIOR ELECTRICAL OUTLETS - GFI. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 8 REMOVE ALL EXISTING EXTERIOR HOSE BIBS, CONFIRM FUNCTIONALITY. PREPARE FOR NEW REPLACEMENT.
- 9 EXISTING UNIT SIGN TO BE RENOVATED. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK.
- 10 DEMO EXIST. FLAG POLE LIGHT FIXTURE AND CONCRETE SLAB ONLY. FLAG POLE AND FOUNDATION TO REMAIN / PROTECT. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK. PROTECT EXISTING MEMORIAL STONE.
- 11 ALL EXTERIOR BOLLARDS - REFINISH AND REPAINT WITH TRAFFIC YELLOW EPOXY / INCLUDING @ 10 BAY STORAGE BUILDING.
- 12 EXISTING FE-7 FENCE SYSTEM / GATES TO REMAIN. PROTECT. TYP.
- 13 IF ABI #03 IS SELECTED: REMOVE ALL LANDSCAPING UP AGAINST THE MAIN ARMORY BUILDING ON THE NORTH & EAST FACADESS OF THE EXISTING BUILDING. REMOVE EARTH GRADE TO THE TOP OF THE EXISTING FOOTING @ BUILDING PERIMETER. PREPARE AREA AND SURFACES FOR REFINISH / REPAINT STUCCO FINISH SYSTEM @ ENTIRELY PERIMETER OF ARMORY BUILDING. - TYP.
- 14 IF ABI #06 IS SELECTED: EXISTING DEAD MAN ANCHOR LAYOUT TO BE RE-CONFIGURED FOR NEW GATE 20'-0" WIDE (K-8 FORCE PROTECTION FENCE SYSTEM). REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 15 IF ABI #07 IS SELECTED: PREPARE NORTH & EAST POV PARKING LOT FOR NEW MILL AND OVERLAY AS INDICATED IN THE ATTACHED CIVIL DRAWINGS.
- 16 IF ABI #06 IS SELECTED: REMOVE PORTION 4'+/- OF EXISTING FE-7 FENCE SYSTEM FOR NEW 4' SWING GATE. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 17 EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS.



1 EXISTING / DEMO SITE PLAN
1" = 30'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

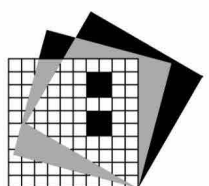
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
EXISTING / DEMO
SITE PLAN

SHEET NO.:

DSA1.1



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LIC. #A 000447

DEMOLITION PLAN LEGEND

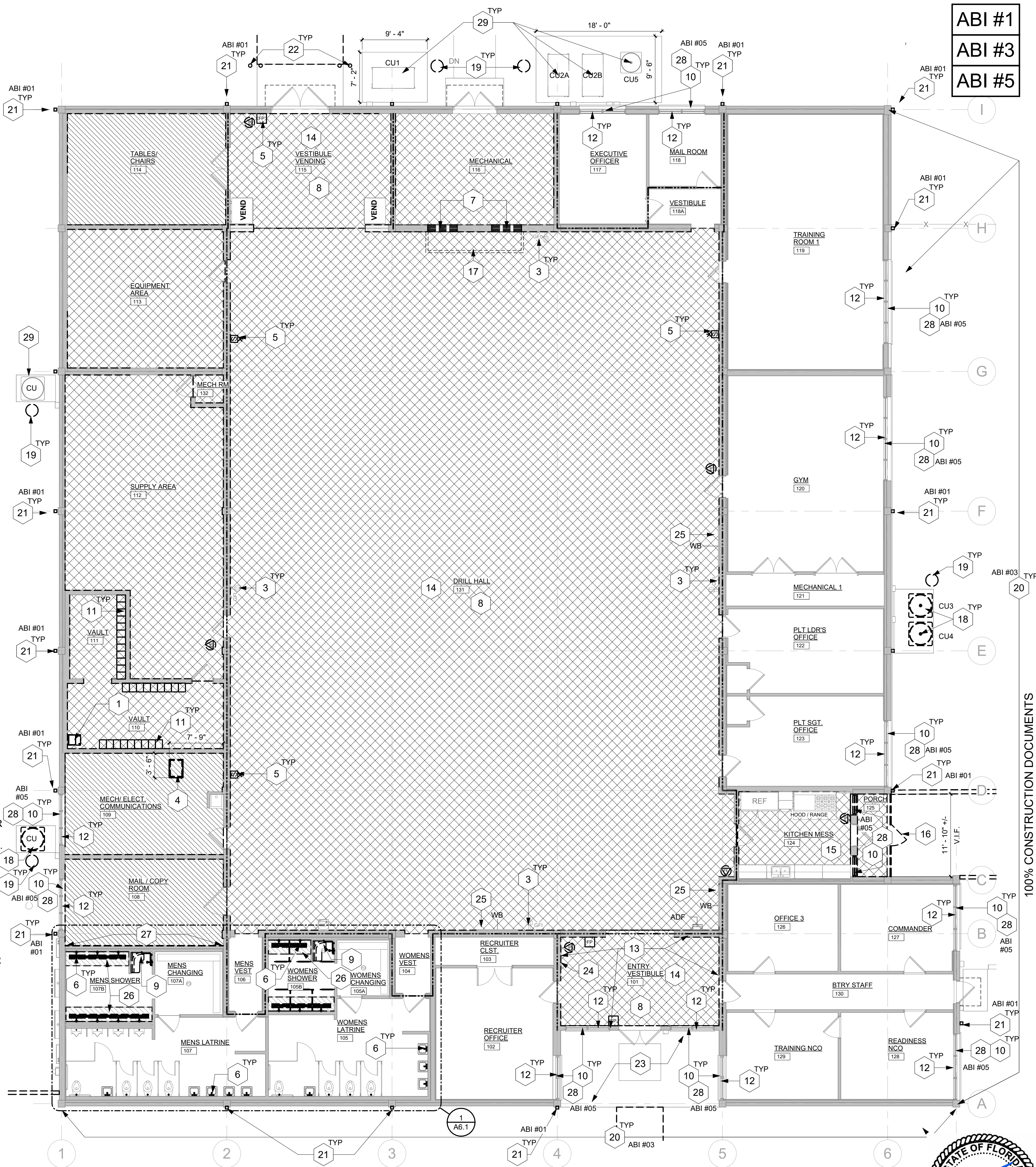
	EXISTING TO BE DEMOLISHED		EXISTING CONCRETE TO BE DEMOLISHED DOWN TO CLEAN SUBSTRATE AS REQUIRED.
	EXISTING WALL / PARTITION TO REMAIN		EXISTING DOOR & FRAME TO REMAIN. PROTECT.
	EXISTING 2HR RATED FIRE PARTITION TO REMAIN		EXISTING DOOR & FRAME TO BE REMOVED & DISPOSED OF.
	EXISTING FLOOR FINISH TO BE DEMOLISHED DOWN TO CLEAN SUBSTRATE AS REQUIRED.		EXISTING DISPLAY BOARD TO REMAIN. PROTECT.

GENERAL DEMOLITON NOTES

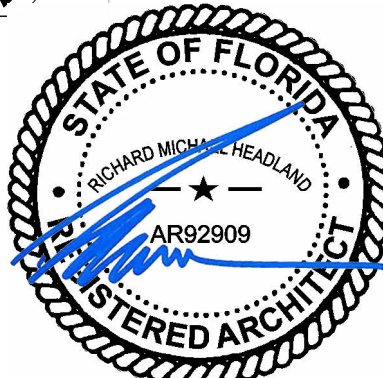
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- EXISTING CONSTRUCTION: WALLS, CEILINGS, WINDOWS, FLOORING, EQUIPMENT, ETC. NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT.
- CLEAN UP ON A DAILY BASIS TO MAINTAIN A SAFE AND OPERABLE FACILITY. COORDIANTE WITH GC SUPPLIED LOCATIONS OF WASTE BINS AND DUMPSTERS, AS REQUIRED FOR THE WORK.
- THE OWNER HAS FIRST RIGHT OF REFUSAL OF ANY FURNITURE, FIXTURES AND EQUIPMENT SLATED FOR DEMOLITION.

DEMO SPECIFIC NOTES

- IF ABI #08 IS SELECTED: VAULT ROOMS 110 / 111: REPLACE LARGE DEHUMIDIFIER LEFT SIDE. ADD NEW MECHANICAL. INSTALL NEW HUMIDISTAT CONTROLLER. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- NOT IN USE.
- REPAIR NON WORKING INTERIOR ELECTRICAL OUTLETS. & REPLACE ONLY BROKEN INTERIOR ELECTRICAL OUTLETS FACEPLATES. COLOR MATCH EXISTING. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- COMM ROOM 109: REMOVE & REPLACE EXISTING DATA CABINET. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK. COORD. ALL WORK WITH G6.
- REPLACE EXISTING FIRE ALARM SYSTEM WITH NEW FIRE ALARM WITH MASS NOTIFICATION SYSTEM. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- DEMO ALL EXISTING VALVES AND FAUCETS AT ALL EXISTING PLUMBING FIXTURES. REFER TO A6.1 SHEET FOR COMPLETE SCOPE OF WORK.
- EXISTING LOUVERS TO BE REMOVED AND DISPOSED OF. PREPARE OPENING FOR NEW LOUVER. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- PREPARE ALL EXISTING SURFACES FOR ROOM FINISHES - NEW PAINTED WALLS, DOOR ENTRYWAYS AND HARD CEILINGS THROUGHOUT.
- ROOM 107B/105B MENS /WOMENS LAT.: REMOVE AND DISPOSE OF EXIST. ADA SHOWER SEAT. REFER TO A6.1 SHEET FOR COMPLETE SCOPE OF WORK.
- IF ABI #05 IS NOT SELECTED: AT FIRST FLOOR LEVEL EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN. REMOVE ALL EXTERIOR & INTERIOR GLAZING DRY SEALS AND PERIMETER FRAME / STUCCO / CONCRETE SEALS.-TYP. PREPARE TO WET SEAL ALL PERIMETER FRAMES TO STUCCO CONCRETE FACE. AND ALL EXISTING GLAZING TO THE EXISTING FRAME INTERIOR & EXTERIOR. - TYP.
- VAULT ROOM 110 / 111: EXISTING GUN RACKS & LOCKERS. TO REMAIN. FULLY COORDINATE REMOVAL / REINSTALLATION AND PHASING WITH UNIT FOR COMPLETION OF FINISHES.
- REMOVE AND DISPOSE OF ALL EXISTING ROLLER SHADES AT FIRST FLOOR WINDOW OPENING. PREPARE AREA FOR NEW ROLLER SHADES SCOPE OF WORK.
- ROOM 101 ENTRY VESTIBULE: PREPARE WALL FOR NEW WALL FINISH TO MATCH RECRUITERS OFFICE. REFER TO NEW SCOPE OF WORK FOR FINISH MATERIAL DETAILS.
- CLEAN, REFINISH AND SEAL EXIST. TERRAZZO FLOOR FINISH. DO NOT GRIND AGGREGATE FOR COMPLETE REFINISH.
- ROOM 124 KITCHEN MESS: CLEAN, RESEAL, & GROUT ALL EXISTING QUARRY TILE FLOORING AND BASE.
- ROOM 125 MESS PORCH: REMOVE AND DISPOSE OF EXISTING SCREEN ENCLOSURE SYSTEM IN ITS ENTIRETY. PREPARE AREA FOR NEW SCREEN ENCLOSURE SYSTEM.
- ALL EXISTING WALL MURALS / LOGOS TO REMAIN. PROTECT AND FULLY MASK W/ CRAFT PAPER & MASKING TAPE AT THE PERIMETER EDGES AS REQUIRED FOR COMPLETE PROTECTION.
- EXISTING CONDENSING UNIT TO BE REMOVED & DISPOSED OF. EXISTING CONC. MECH. SUPPORT PADS TO REMAIN. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- IF ABI #01 IS SELECTED: PREPARE AREA FOR NEW CONDENSATE CONNECTION TO NEW STORM. REFER TO MECHANICAL / CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK. REMOVE DRYWELL FROM SCOPE OF WORK IF ABI IS SELECTED. / IF ABI #01 IS NOT SELECTED: PROVIDE NEW DRYWELL. REFER TO MECHANICAL DRAWINGS.
- IF ABI #03 IS SELECTED: REMOVE ALL LANDSCAPING UP AGAINST THE MAIN ARMORY BUILDING ON THE NORTH & EAST FACADES OF THE EXISTING BUILDING. REMOVE EARTH GRADE TO THE TOP OF THE EXISTING FOOTING @ BUILDING PERIMETER. PREPARE AREA AND SURFACES FOR REFINISH / REPAINT STUCCO FINISH SYSTEM @ ENTIRELY PERIMETER OF ARMORY BUILDING. - TYP.
- IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- ALL EXTERIOR BOLLARDS - REFINISH AND REPAINT WITH TRAFFIC YELLOW EPOXY / INCLUDING @ 10 BAY STORAGE BUILDING.
- PREPARE EXISTING EXTERIOR ENTRY VESTIBULE CONCRETE FLOOR FOR NEW EPOXY -PAINT FINISH. EXISTING WALK-OFF MATT TO BE REMOVE AND STORE TEMPORARILY DURING RENOVATION SCOPE OF WORK. - TYP.
- PROTECT WALL PLAQUE FOR PAINTING SCOPE OF WORK. FULLY MASK W/ CRAFT PAPER & MASKING TAPE AT THE PERIMETER EDGES AS REQUIRED FOR COMPLETE PROTECTION.
- EXISTING WALL DISPLAY BOARD TO BE REMOVE AND STORE TEMPORARILY FOR PAINTING SCOPE OF WORK. TYP.
- SAWCUT & REMOVE EXISTING SHOWER TRENCH DRAIN SYSTEMS. REFER TO SHEET A6.1 AND PLUMBING DRAWINGS FOR COMPLETE SCOPE OF WORK.
- REMOVE AND DISPOSE OF ALL 4" STUD AND WALL FINISHES FOR THIS WALL TO THE FOLLOWING CONSTRAINTS. REMOVE 10'-0" WIDTH OF WALL CENTERED ON THE CORROSION AND 10'-0" HIGH FROM BOTTOM TRACK TO TOP TRACK. EXISTING 4" STUD WALL HAS FINISHES ON 1 SIDE ONLY. COORDINATE AND PROVIDE ELECTRICAL OUTLET REMOVAL AND SALVAGE ALL COMPONENTS FOR REINSTALLATION FOR DEMOLISHED PORTION OF THE WALL.
- IF ABI #05 IS SELECTED: COMPLETE GLAZING REPLACEMENT OF ALL EXISTING LAMINATED IMPACT GLAZING IN EXISTING ALUMINUM WINDOW FRAME SYSTEMS AT ALL THE EXTERIOR 1ST FLOOR LEVEL GLAZED OPENINGS. NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY. REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.
- EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS.



1
DA1.1
EXISTING / DEMO FLOOR PLAN
1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

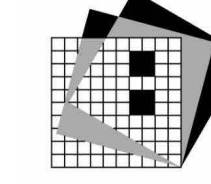
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
EXISTING / DEMO
FLOOR PLAN

SHEET NO.:

DA1.1



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LIC. #A 0004447

DEMOLITION PLAN LEGEND

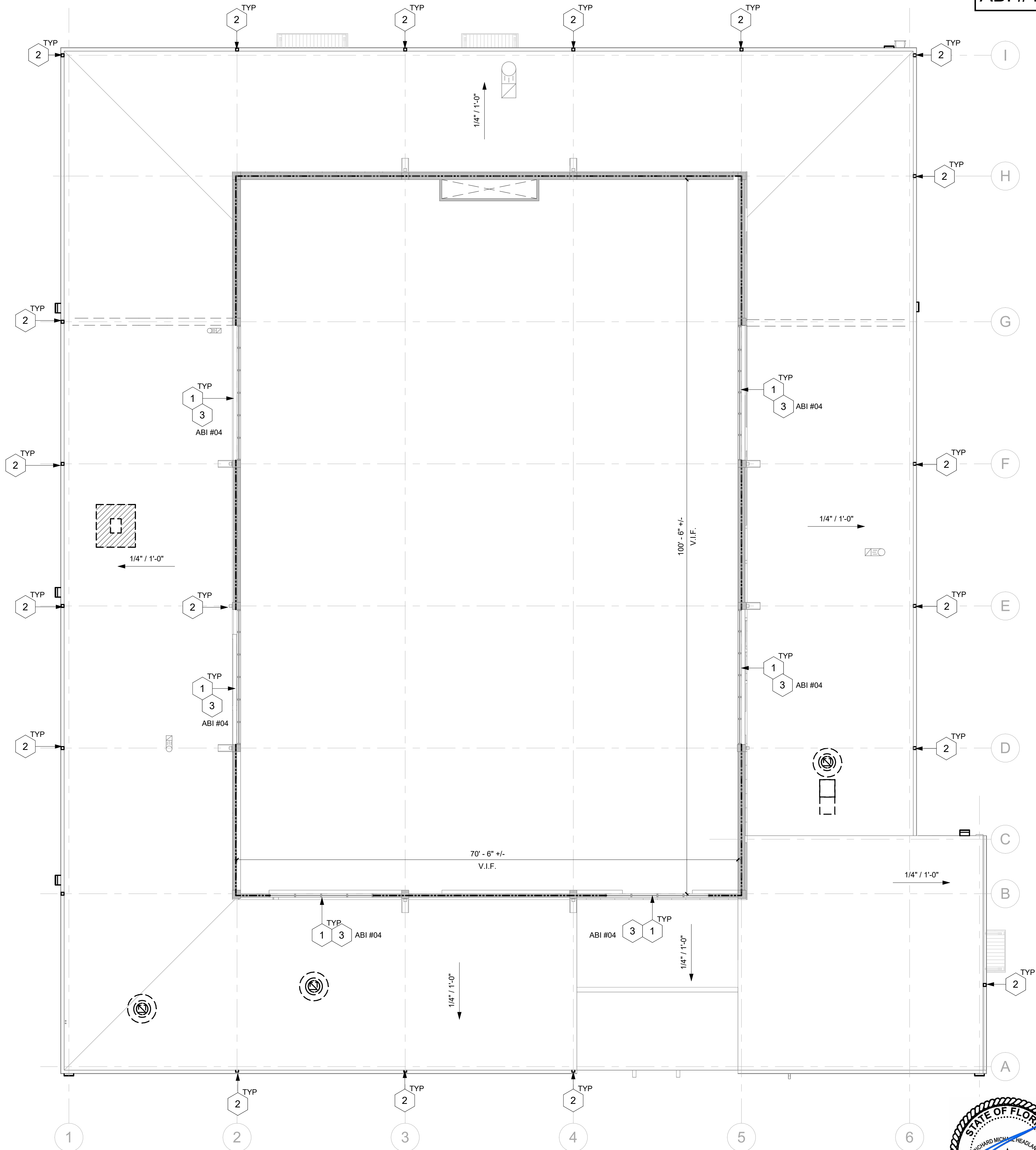
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GENERAL DEMOLITON NOTES

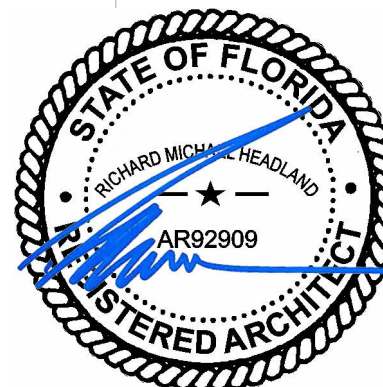
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- B** GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION I0325HGPFR. UPON COMPLETION THE WORK. GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
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- D** COORDINATE FULL SCOPE OF DEMOLITION WORK W/ CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
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- F** CLEAN UP ON A DAILY BASIS TO MAINTAIN A SAFE AND OPERABLE FACILITY. COORDIANTE WITH GC SUPPLIED LOCATIONS OF WASTE BINS AND DUMPSTERS, AS REQUIRED FOR THE WORK.
- G** THE OWNER HAS FIRST RIGHT OF REFUSAL OF ANY FURNITURE, FIXTURES AND EQUIPMENT SLATED FOR DEMOLITION.

DEMO SPECIFIC NOTES

- 1** IF ABI #04 IS NOT SELECTED: AT DRILL HALL CLERESTORY LEVEL EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN / TINT GLAZING AT DRILL HALL CLERESTORY LEVEL ONLY. REMOVE ALL EXTERIOR & INTERIOR GLAZING DRY SEALS AND PERIMETER FRAME / STUCCO / CONCRETE SEALS.-TYP. PREPARE TO WET SEAL ALL PERIMETER FRAMES TO STUCCO CONCRETE FACE, AND ALL EXISTING GLAZING TO THE EXISTING FRAME INTERIOR & EXTERIOR. - TYP.
- 2** IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK. REMOVE EXISTING DRYWELLS.
- 3** IF ABI #04 IS SELECTED: REMOVE EXISTING DAMAGED IMPACT GLAZING PANELS AT THE CLERESTORY LEVEL, AND PREPARE FOR NEW IMPACT GLAZING. PROFILES.



1
DA1.2
EXISTING/ DEMO CLERESTORY PLAN
1/8\" = 1'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

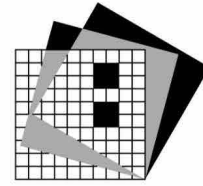
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1 06-17-26 ADDENDUM 02

SHEET TITLE:
EXISTING / DEMO
CLERESTORY PLAN

SHEET NO.:

DA1.2



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LIC. #A 0001447

ABI #1
ABI #4

DEMOLITION ROOF LEGEND

----- EXISTING TO BE DEMOLISHED

GENERAL DEMOLITON NOTES

- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.

B GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION 10325HGPF. UPON COMPLETION THE WORK. GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.

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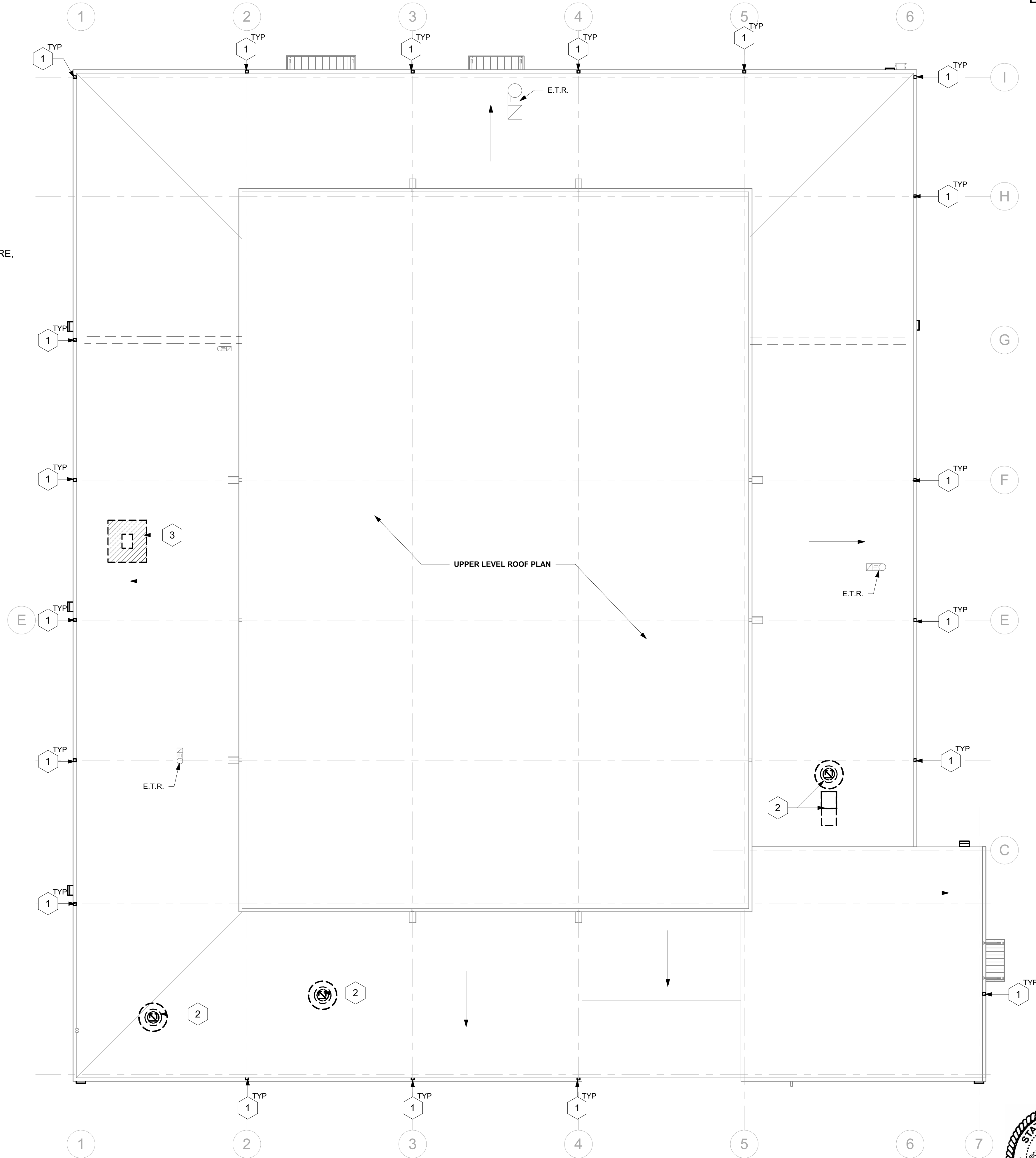
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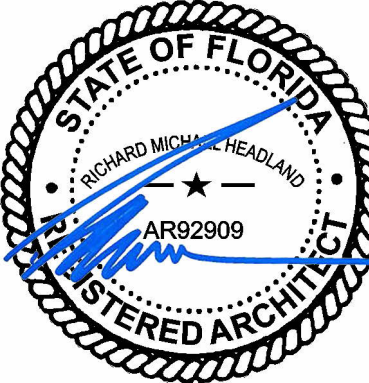
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2 MECHANICAL EQUIPMENT TO BE REMOVED & DISPOSED OF. CURB TO REMAIN. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.

3 COORDINATE AND PROVIDE ACCESS FOR INSTALLATION FOR NEW ROOF PENETRATION FOR NEW 8 X 4 RELIEF DUCT. PROVIDE NEW STRUCTURAL STEEL SUPPORT PER DETAIL 2/A4.1. PROVIDE NEW UN-INSULATED CURB PER DETAIL 3/A4.1. (ATTACH PER FLORIDA PRODUCT APPROVAL REQUIREMENTS.) EXISTING 12" STEAL JOINTS ARE @ 4' O.C. - TYP. COORDINATE WITH MECHANICAL DRAWINGS FOR ALL REQUIREMENTS.



1
DA4.1
EXISTING / DEMO ROOF PLAN
1/8" = 1'-0"



ABI #1

100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

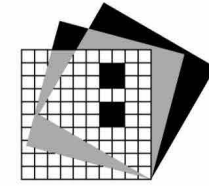
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EXISTING / DEMO
ROOF PLAN

SHEET NO.:

DA4.1



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DEMO RCP LEGEND

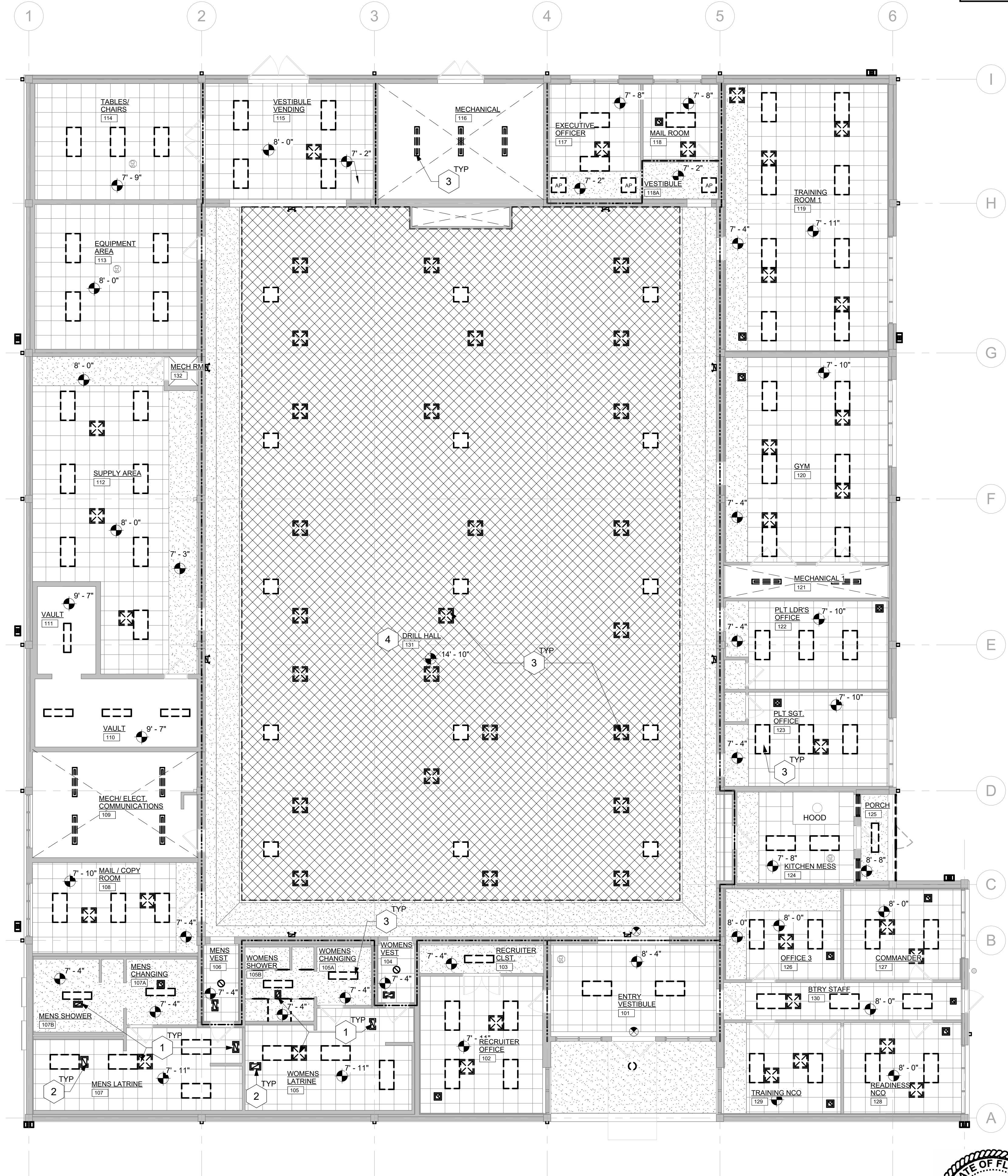
	EXISTING 2X2 APC TILE TO BE REMOVED & DISPOSED OF AT DRILL HALL ROOM 131 ONLY. GRID TO REMAIN		EXISTING EXHAUST FAN TO BE REMOVED & DISPOSED OF. SEE MECH.
	EXISTING 2X2 APC SYSTEM TO REMAIN, PROTECT		EXISTING CLG. MTD. WIRELESS ACCESS POINT
	INDICATES ROW OF TILE TILTED TO WINDOW HEAD.		EXISTING CLG. MTD. OCCUPANCY SENSOR
	EXIST. HARD CEILING SYSTEMS TO REMAIN, PROTECT.		EXISTING CLG. MTD. SPEAKER REMOVED & DISPOSED OF. SEE ELECT.
	EXISTING WALL / PARTITION TO REMAIN		EXISTING CLG. MTD. SMOKE DETECTOR
	EXISTING 2HR RATED FIRE PARTITION TO REMAIN		EXISTING WALL MTD. FIRE STROBE
	EXISTING 2x4 LIGHT FIXTURE TO BE REMOVED & DISPOSED OF		EXISTING CLG. MTD. EXIT SIGN
	EXISTING 1x4 LIGHT FIXTURE TO BE REMOVED & DISPOSED OF		EXISTING WALL MTD. RETURN REGISTER. SEE MECH.
	EXISTING RETURN REGISTER TO BE REMOVED & DISPOSED OF. SEE MECH.		EXISTING WALL MTD. SUPPLY DIFFUSER. SEE MECH.
	EXISTING SUPPLY DIFFUSER TO BE REMOVED & DISPOSED OF. SEE MECH.		EXISTING CLG. MTD. DUPLEX OUTLET
			EXISTING WALL MTD. THERMOSTAT
			EXISTING WALL MTD. DOORBELL
			EXISTING WALL MTD. EMERGENCY LIGHT

GENERAL DEMOLITON NOTES

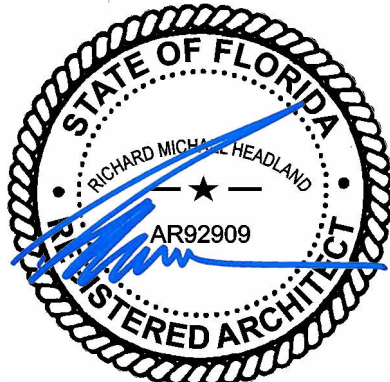
- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- B GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION I0325HGPF. UPON COMPLETION THE WORK. GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
- C REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- D COORDINATE FULL SCOPE OF DEMOLITION WORK W/ CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS
- E EXISTING CONSTRUCTION: WALLS, CEILINGS, WINDOWS, FLOORING, EQUIPMENT, ETC. NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE PROJECT.
- F CLEAN UP ON A DAILY BASIS TO MAINTAIN A SAFE AND OPERABLE FACILITY. COORDIANTE WITH GC SUPPLIED LOCATIONS OF WASTE BINS AND DUMPSTERS, AS REQUIRED FOR THE WORK.
- G THE OWNER HAS FIRST RIGHT OF REFUSAL OF ANY FURNITURE, FIXTURES AND EQUIPMENT SLATED FOR DEMOLITION.

DEMO SPECIFIC NOTES

- 1 DEMO ALL EXHAUST FANS AT LATRINES. PREPARE AREA FOR NEW DESIGN. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 2 DEMO ALL STARTES IN ALL EXHAUST FAN REPLACMENT SOW. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 3 IF ABI #02 IS SELECTED: DEMO ALL EXISTING INTERIOR LIGHTINGS. PREPARE FOR NEW LED UPGRADE SYSTEM.
- 4 DEMO ALL ACOUSTIC CEILING TILE IN DRILL HALL ROOM 131 ONLY. GRID TO REMAIN. OLD DRILL HALL TILE TO BE USED TO REPLACE OLD SOILED TILE IN REMAINDER OF BUILDING.



EXIST / DEMO REFLECTED CEILING
PLAN
1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

1107 14TH AVE W, PALMETTO, FL 34221

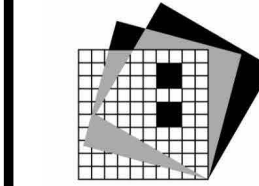
PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
DEMO REFLECTED
CEILING PLAN

SHEET NO.:

DA7.1

ABI #2



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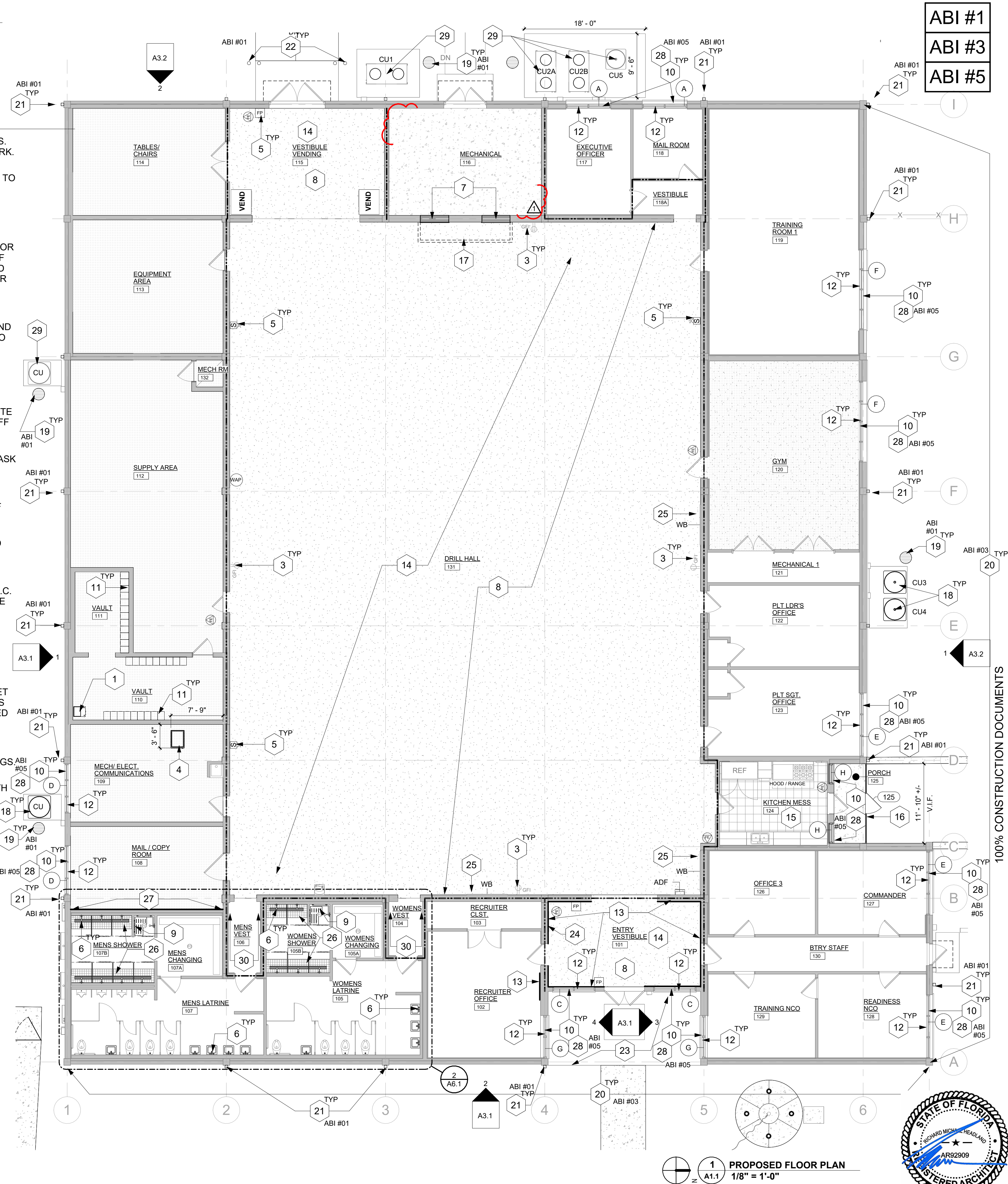
PLAN LEGEND

	EXISTING WALL / PARTITION TO REMAIN		NEW PARTITION REFER TO PARTITION TYPE SCHEDULE		NEW DOOR. REF. DOOR & FRAME. SEE SCHEDULE		SC / BASE		EXIST QT / BASE
	EXISTING 2HR RATED FIRE PARTITION TO REMAIN		NEW RAF / BASE		EXIST. DOOR & FRAME TO REMAIN. PROTECT.		NEW RES / BASE		EXIST TERRAZZO / BASE

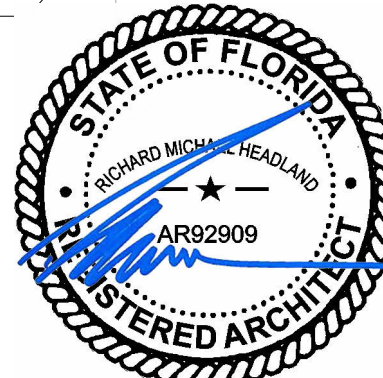
SPECIFIC NOTES

- IF ABI #08 IS SELECTED: VAULT ROOMS 110 & 111: NEW DEHUMIDIFIER AT LEFT SIDE, NEW MECHANICAL, AND NEW HUMIDISTAT CONTROLLER. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- NOT IN USE.
- REPAIR NON WORKING INTERIOR ELECTRICAL OUTLETS. & REPLACE ONLY BROKEN INTERIOR ELECTRICAL OUTLETS FACEPLATES. COLOR MATCH EXISTING. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- COMM ROOM 109: NEW (HOFFMAN) FLOOR MOUNTED DATA CABINET PURCHASED / INSTALLED BY CONTRACTOR. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK. COORD. ALL WORK WITH G6.
- PROVIDE NEW FIRE ALARM SYSTEM WITH NEW FIRE ALARM WITH MASS NOTIFICATION SYSTEM. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK
- NEW VALVES AND FAUCETS AT ALL EXISTING PLUMBING FIXTURES. REFER TO A6.1 SHEET FOR COMPLETE SCOPE OF WORK.
- PROVIDE NEW LOUVER IN EXIST. OPENING. VERIFY IN FIELD EXISTING OPENING DIMENSIONS PRIOR TO SUBMITTING FOR APPROVAL. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- ROOM FINISHES - NEW PAINTED WALLS, DOOR ENTRYWAYS AND HARD CEILINGS THROUGHOUT.
- ROOM 107B/105B MENS /WOMENS LAT.-NEW ADA SHOWER SEAT. REFER TO A6.1 SHEET FOR COMPLETE SCOPE OF WORK.
- IF ABI #05 IS NOT SELECTED: AT FIRST FLOOR LEVEL EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN. REMOVE ALL EXTERIOR & INTERIOR GLAZING DRY SEALS AND PERIMETER FRAME / STUCCO / CONCRETE SEALS.-TYP. PREPARE TO WET SEAL ALL PERIMETER FRAMES TO STUCCO CONCRETE FACE, AND ALL EXISTING GLAZING TO THE EXISTING FRAME INTERIOR & EXTERIOR. - TYP.
- VAULT ROOM 110 / 111: EXISTING GUN RACKS & LOCKERS. TO REMAIN. FULLY COORDINATE REMOVAL / REINSTALLATION AND PHASING WITH UNIT FOR COMPLETION OF FINISHES.
- NEW ROLLER SHADES 100% BLACKOUT. PROTECT EXISTING WINDOWS.
- ROOM 101 ENTRY VESTIBULE: PROVIDE NEW PAINT GRADE TONGUE AND GROOVE PANEL BOARD BEDFORD VILLAGE UNFINISHED NATURAL BIRCH BY GEORGIA PACIFIC OR EQUAL. PROVIDE WOOD CHAIR RAIL TO MATCH EXISTING 38" AFF / PROVIDE 4 1/2" BASE TO MATCH EXISTING PROFILE. - TYP. AT LOBBY & RECRUITERS OFFICE.
- CLEAN, REFINISH AND SEAL EXIST. TERRAZZO FLOOR FINISH. DO NOT GRIND AGGREGATE FOR COMPLETE REFINISH.
- RROOM 124 KITCHEN MESS: CLEAN, RESEAL, & GROUT ALL EXISTING QUARRY TILE FLOORING AND BASE.
- ROOM 125 MESS PORCH: NEW SCREEN ENCLOSURE SYSTEM. REFER TO SHEET A8.1 FOR COMPLETE SCOPE OF WORK.
- ALL EXISTING WALL MURALS / LOGOS TO REMAIN. PROTECT AND FULLY MASK W/ CRAFT PAPER & MASKING TAPE AT THE PERIMETER EDGES AS REQUIRED FOR COMPLETE PROTECTION.
- NEW CONDENSING UNIT ON EXISTING CONC. MECH. SUPPORT PADS. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- IF ABI #01 IS SELECTED: PROVIDE NEW CONDENSATE CONNECTION TO NEW STORM. REFER TO MECHANICAL / CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK. REMOVE DRYWELL FROM SCOPE OF WORK IF ABI IS SELECTED. / IF ABI #01 IS NOT SELECTED: PROVIDE NEW DRYWELL. REFER TO MECHANICAL DRAWINGS.
- IF ABI #03 IS SELECTED: REFINISH AND REPAINT COMPLETE EXTERIOR STUCCO FACADE INCLUDING BRICK FACADE, AND THE PAINTING OF ALL EXTERIOR HM DOORS AND FRAMES INCLUDING ALL INSIDE AND OUTSIDE FACES. ETC. / 4 COLOR SCHEME MAX. REFER TO EXTERIOR ELEVATIONS.
- IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- ALL EXTERIOR BOLLARDS - REFINISH AND REPAINT WITH TRAFFIC YELLOW EPOXY / INCLUDING @ 10 BAY STORAGE BUILDING.
- EPOXY AND PAINT EXISTING EXTERIOR ENTRY VESTIBULE CONCRETE FLOOR, COLOR TO MATCH EXISTING. REINSTALL EXISTING WALK-OFF MATT ONCE RENOVATION SCOPE OF WORK IS COMPLETE. TYP.
- PROTECT WALL PLAQUE FOR PAINTING SCOPE OF WORK. FULLY MASK W/ CRAFT PAPER & MASKING TAPE AT THE PERIMETER EDGES AS REQUIRED FOR COMPLETE PROTECTION.
- REINSTALL EXISTING WALL DISPLAY BOARD ONCE PAINT SCOPE OF WORK IS COMPLETE.
- PROVIDE AND INSTALL NEW TRENCH DRAIN SYSTEMS IN MENS AND WOMENS SHOWER AREAS. REFER TO SHEET A6.1 AND PLUMBING DRAWINGS FOR COMPLETE SCOPE OF WORK.
- PROVIDE AND INSTALL NEW 4" GALV. STUDS WALL SYSTEM @ 16" O.C. WITH MRGWB PAINTED FINISH. NEW STUD WALL APPROX 10'-0" WIDE CENTERED ON THE CORRODED AREA. PROVIDE NEW FULL HEIGHT WALL WITH NEW TOP AND BOTTOM TRACK. PROVIDE NEW MRGWB PAINTED FINISH FOR THE REMAINING FULL LENGTH OF THE WALL APPROX. 23'-0" IN WIDTH X 2'-0" HIGH.
- IF ABI #05 IS SELECTED: AT ALL THE EXTERIOR 1ST FLOOR LEVEL GLAZED OPENINGS, PROVIDE AND INSTALL NEW IMPACT GLAZING PROFILE INTO EXISTING WINDOW FRAME SYSTEMS WITH A NEW WET SEAL. IN ADDITION RESEALING ALL WINDOW PERIMETERS PROFILES TO THE EXISTING SUBSTRATE. - TYP. PROVIDE NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY (QUANTITY 2). REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.
- EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS
- PROVIDE NEW MRGWB / PT. FINISH 24" HIGH +/- FOR ENTIRE LENGTH OF WALL IN THIS AREA.

REFER TO A1.2 SHEET FOR PROPOSED ROOM FINISH SCHEDULE & FINISH HEY



1
A1.1
PROPOSED FLOOR PLAN
1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09

DATE: MARCH 30, 2026

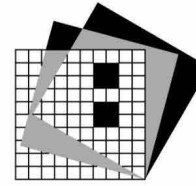
DRAWN BY: ML

REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
PROPOSED FLOOR PLAN

SHEET NO.:

A1.1



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LIC. #A 0001447

PLAN LEGEND

	EXISTING WALL / PARTITION TO REMAIN		NEW PARTITION REFER TO PARTITION TYPE SCHEDULE		NEW DOOR. REF. DOOR & FRAME. SEE SCHEDULE		SC / BASE		EXIST QT / BASE
	EXISTING 2HR RATED FIRE PARTITION TO REMAIN		NEW RAF / BASE		EXIST. DOOR & FRAME TO REMAIN. PROTECT.		NEW RES / BASE		EXIST TERRAZO / BASE

SPECIFIC NOTES

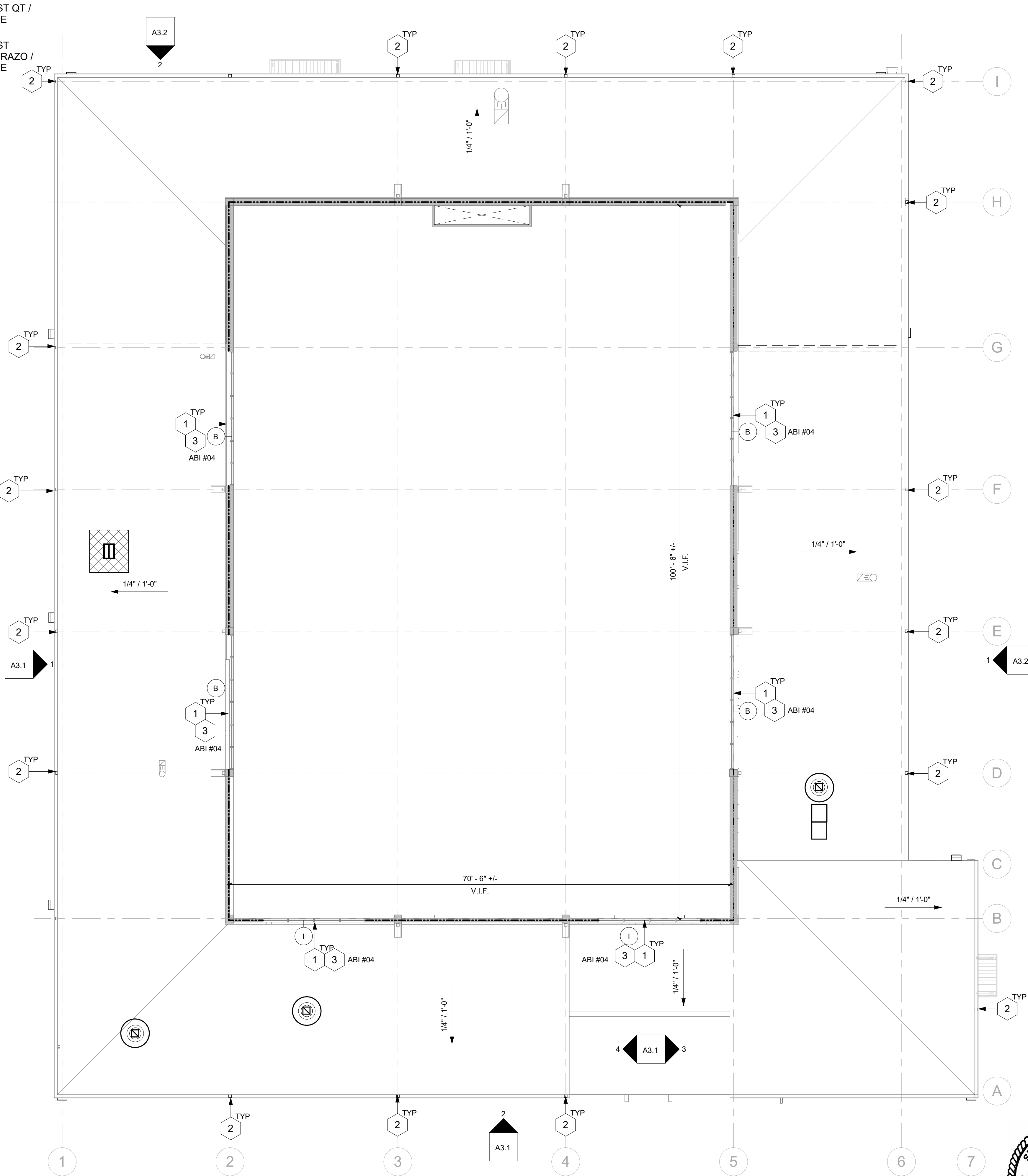
- IF ABI #04 IS NOT SELECTED: AT DRILL HALL CLERESTORY LEVEL EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN / TINT GLAZING AT DRILL HALL CLERESTORY LEVEL ONLY. REMOVE ALL EXTERIOR & INTERIOR GLAZING DRY SEALS AND PERIMETER FRAME / STUCCO / CONCRETE SEALS. -TYP. PREPARE TO WET SEAL ALL PERIMETER FRAMES TO STUCCO CONCRETE FACE, AND ALL EXISTING GLAZING TO THE EXISTING FRAME INTERIOR & EXTERIOR. - TYP.
- IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK. REMOVE EXISTING DRYWELLS.
- IF ABI #04 IS SELECTED: PROVIDE AND INSTALL NEW IMPACT GLAZING PROFILE #2 INTO EXISTING WINDOW FRAME SYSTEMS WITH A NEW WET SEAL. IN ADDITION RESEALING ALL WINDOW PERIMETERS PROFILES TO THE EXISTING SUBSTRATE. - TYP. REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.

ROOM FINISH SCHEDULE (*) INDICATES EXISTING TO REMAIN

RM	NAME	FLOOR	BASE	CEILING	WALL				ABI # / BASE BID	REMARKS
					NORTH	EAST	SOUTH	WEST		
101	ENTRY VESTIBULE	*TRZ	VWB	*APC	PNT	PNT	PNT	PNT		CLEAN, REFINISH & SEAL EXIST. TRZ / PROVIDE 2 WALL COLORS
102	RECRUITER OFFICE	*CPT	*WPC	*APC	PNT	PNT	PNT	PNT		
103	RECRUITER CLST.	*CPT	*VWB	*HC	PNT	PNT	PNT	PNT		
104	WOMENS VEST	*CFT	*PWB	*APC	PNT	PNT	PNT	PNT		
105	WOMENS LATRINE	*CFT	*PWB	*APC	*PWT	*PWT	*PWT	*PWT		
105A	WOMENS CHANGING	*CFT	*PWB	*HC	*PWT	*PWT	*PWT	*PWT		
105B	WOMENS SHOWER	*CFT / CFT	*PWB	*HC	*PWT	*PWT	*PWT	*PWT		
106	MENS VEST	*CFT	*PWB	*APC	PNT	PNT	PNT	PNT		
107	MENS LATRINE	*CFT	*PWB	*APC	*PWT	*PWT	*PWT	*PWT		
107A	MENS CHANGING	*CFT	*PWB	*HC	*PWT	*PWT	*PWT	*PWT		
107B	MENS SHOWER	*CFT / CFT	*PWB	*HC	*PWT	*PWT	*PWT	*PWT		
108	MAIL / COPY ROOM	RES	VWB	*APC / *HC	PNT	PNT	PNT	PNT		
109	MECH/ ELECT. COMMUNICATIONS	RES	VWB	OPEN	PNT	PNT	PNT	PNT		
110	VAULT	RES	VWB	*HC	PNT	PNT	PNT	PNT		
111	VAULT	RES	VWB	*HC	PNT	PNT	PNT	PNT		
112	SUPPLY AREA	RES	VWB	*APC / *HC	PNT	PNT	PNT	PNT		
113	EQUIPMENT AREA	RES	VWB	*APC	PNT	PNT	PNT	PNT		
114	TABLES/ CHAIRS	RES	VWB	*APC	PNT	PNT	PNT	PNT		
115	VESTIBULE VENDING	*TRZ	VWB	*APC	PNT	PNT	PNT	PNT		CLEAN, REFINISH & SEAL EXIST. TRZ / PROVIDE 2 WALL COLORS
116	MECHANICAL	SC	VWB	OPEN	PNT	PNT	PNT	PNT		
117	EXECUTIVE OFFICER	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
118	MAIL ROOM	*LVT	*VWB	*APC	PNT	PNT	PNT	PNT		
118A	VESTIBULE	*LVT	*VWB	*HC	PNT	PNT	PNT	PNT		
119	TRAINING ROOM 1	*VCT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
120	GYM	*VCT / RAF	VWB	*APC / *HC	PNT	PNT	PNT	PNT		RAF OVER EXIST. VCT
121	MECHANICAL 1	*SC	*VWB	OPEN	PNT	PNT	PNT	PNT		
122	PLT LDR'S OFFICE	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
123	PLT SGT. OFFICE	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
124	KITCHEN MESS	*QT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
125	PORCH	SC	-	*HC	-	PNT	PNT	PNT		
126	OFFICE 3	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
127	COMMANDER	*LVT	*VWB	*APC	PNT	PNT	PNT	PNT		
128	READINESS NCO	*LVT	*VWB	*APC	PNT	PNT	PNT	PNT		
129	TRAINING NCO	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
130	BTRY STAFF	*LVT	*VWB	*APC / *HC	PNT	PNT	PNT	PNT		
131	DRILL HALL	*TRZ	VWB	APC / *HC	PNT	PNT	PNT	PNT		CLEAN, REFINISH & SEAL EXIST. TRZ / PROVIDE 2 WALL COLORS
132	MECH RM	RES	VWB	OPEN	PNT	PNT	PNT	PNT		

FINISH KEY

APC	ACOUSTIC PANEL CEILING
CB	CONCRETE BLOCK
CFT	CERAMIC FLOOR TILE
CPT	CARPET
CWT	GLAZED WALL TILE
ETR	EXISTING TO REMAIN
GWB	GYPSUM WALL BOARD
HC	HARD CEILING SYSTEM
HWD	HARD WOOD
LVT	LUXURY VINYL TILE
MCT	MOSAIC CERAMIC TILE
MRG	MOISTURE-RESI
WB	STANT GYPSUM WALL BOARD
PFT	PORCELAIN FLOOR TILE
PLWD	PLYWOOD
PNT	PAINT
PWB	PORCELAIN WALL BASE
PWT	PORCELAIN WALL TILE
QT	QUARRY TIL
RAF	RESILIENT ATHLETIC FLOORING
RES	RESINOUS EPOXY FLOORING
SC	SEALED CONCRETE
TRZ	TERRAZZO
VWB	6" VINYL WALL BASE
WPC	3' WAINSCOT PANEL



PROPOSED CLERESTORY PLAN
1/8" = 1'-0"



100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

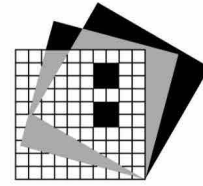
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
PROPOSED
CLERESTORY PLAN

SHEET NO.:

A1.2



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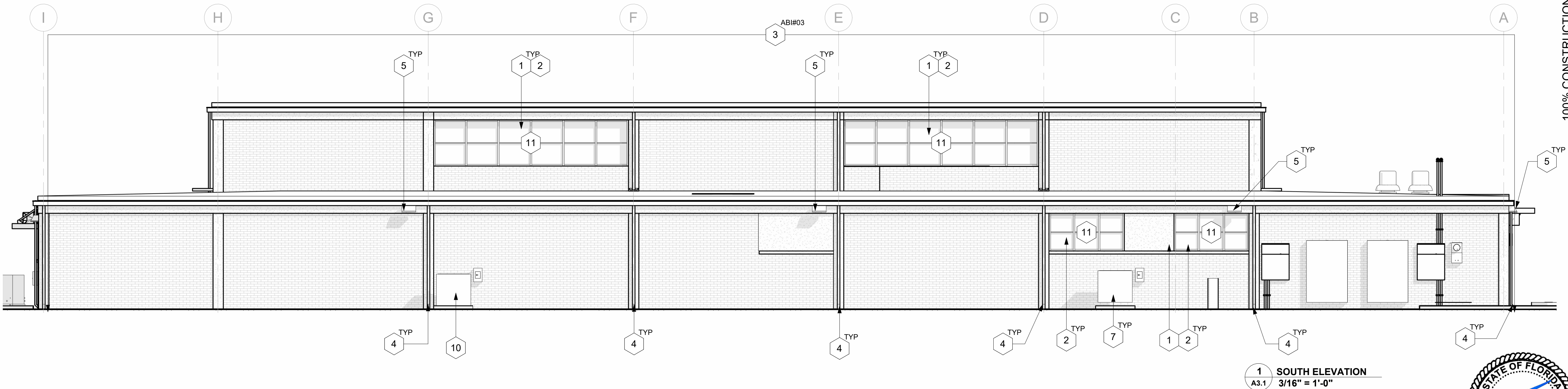
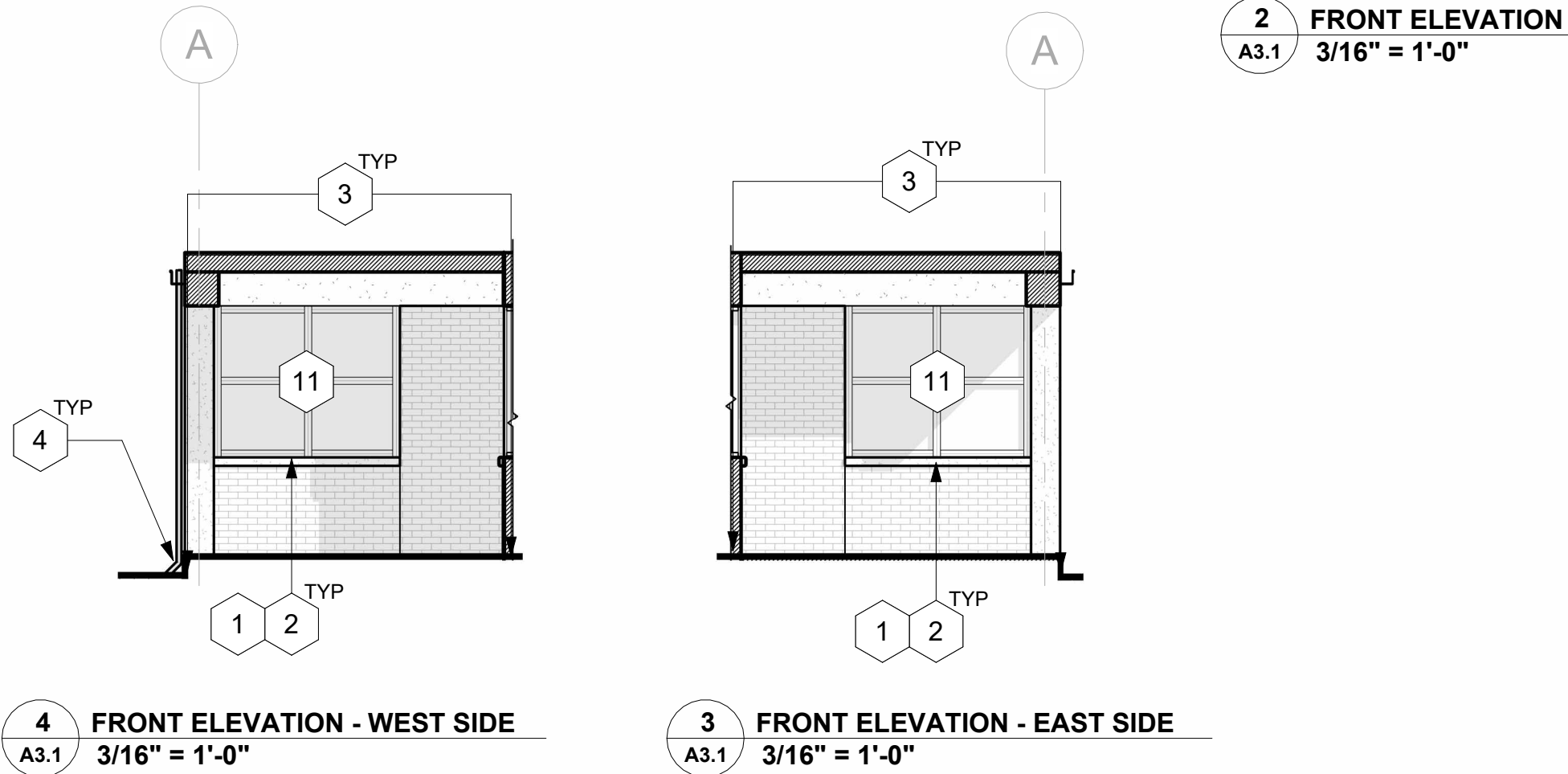
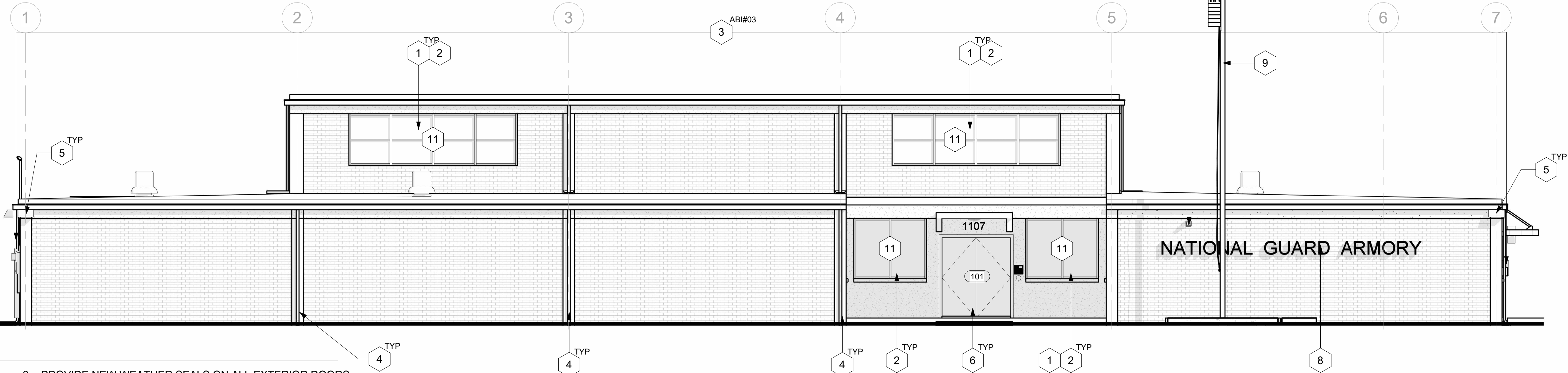
ABI #1
ABI #4

GENERAL NOTES

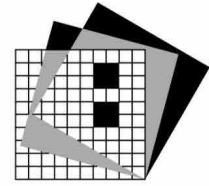
- REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION I0325HGPFR. UPON COMPLETION THE WORK, GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
- REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- PATCH HOLES OF ALL ABANDONED PIPE PENETRATIONS. TYP.

SPECIFIC NOTES

- IF ABI #04 & #05 ARE NOT SELECTED: EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN / TINT GLAZING AT DRILL HALL CLERESTORY LEVEL ONLY.
- IF ABI #04 & #05 ARE NOT SELECTED: RE-CAULK - WET SEAL PERIMETER OF ALL WINDOW FRAMES TO STUCCO FACE IN ADDITION TO WET SEALING GLAZING TO WINDOW FRAME AS REQUIRED.
- IF ABI #03 IS SELECTED: PRESSURE WASH AND PREPARE ALL EXTERIOR SURFACES FOR COMPLETE EXTERIOR PAINT SCOPE OF WORK INCLUDING ALL EXTERIOR STUCCO AND BRICK FACADES. REPLACE ALL SOFT JOINTS WITH NEW BACKER ROD AND SEALANT. REFINISH AND REPAINT COMPLETE EXTERIOR STUCCO FACADE INCLUDING BRICK FACADE, AND THE PAINTING OF ALL EXTERIOR HM DOORS AND FRAMES INCLUDING ALL INSIDE AND OUTSIDE FACES. ETC. / 4 COLOR SCHEME MAX.
- IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- IF ABI #02 IS SELECTED: PROVIDE NEW LED WALL MOUNTED EXTERIOR LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- PROVIDE NEW WEATHER SEALS ON ALL EXTERIOR DOORS. PER EACH DOOR (1) GASKETING CATALOG #: 488SBK PSA / FINISH: BK / MFR: ZER. TYP.
- NEW CONDENSING UNIT ON EXIST. CONC. MECH. SUPPORT PADS. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- EXIST. SIGN TO REMAIN / PROTECT. MASK SIGN FOR PAINT SCOPE OF WORK.
- RENOVATED FLAG POLE CONCRETE SLAB. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK.
- EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS.
- IF ABI #04 & #05 ARE SELECTED: PROVIDE AND INSTALL NEW IMPACT GLAZING PROFILE INTO EXISTING WINDOW FRAME SYSTEMS WITH A NEW WET SEAL. IN ADDITION RESEALING ALL WINDOW PERIMETERS PROFILES TO THE EXISTING SUBSTRATE. - TYP. PROVIDE NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY (QUANTITY 2). REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.



ABI #4	ABI #1
ABI #5	ABI #2
ABI #3	



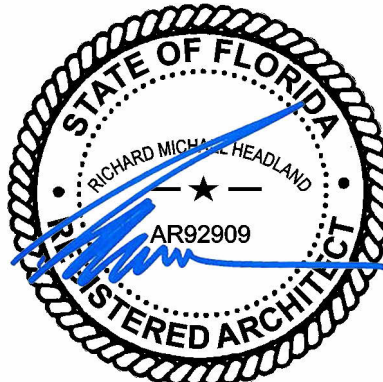
DMA CFMO # 224004
PALMETTO ESP RENOVATION
NATIONAL GUARD ARMORY
1107 14TH AVE W, PALMETTO, FL 34221

PROJECT NO.:1910.09
DATE: MARCH 30, 2026
DRAWN BY: ML
REVISIONS:
1 06-17-26 ADDENDUM 02

SHEET TITLE:
BUILDING
EXTERIOR
ELEVATIONS

SHEET NO.:

A3.1

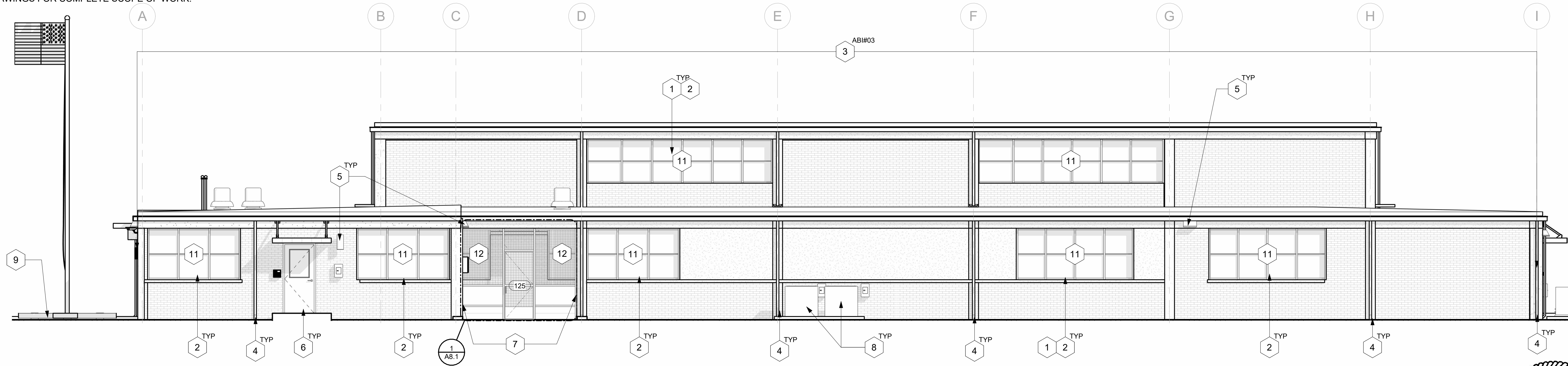


GENERAL NOTES

1. REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
2. GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION I0325HGPF. UPON COMPLETION THE WORK, GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
3. REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
4. PATCH HOLES OF ALL ABANDONED PIPE PENETRATIONS. TYP.

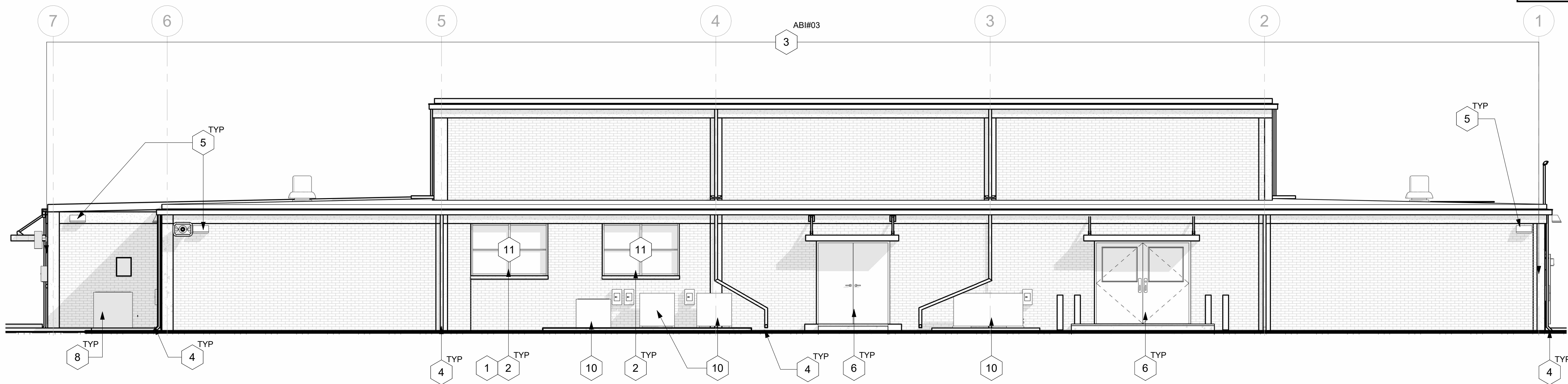
SPECIFIC NOTES

- 1 IF ABI #04 & #05 ARE NOT SELECTED: EXISTING WINDOW AND GLAZING SYSTEMS TO REMAIN / TINT GLAZING AT DRILL HALL CLERESTORY LEVEL ONLY.
- 2 IF ABI #04 & #05 ARE NOT SELECTED: RE-CAULK - WET SEAL PERIMETER OF ALL WINDOW FRAMES TO STUCCO FACE IN ADDITION TO WET SEALING GLAZING TO WINDOW FRAME AS REQUIRED.
- 3 IF ABI #03 IS SELECTED: PRESSURE WASH AND PREPARE ALL EXTERIOR SURFACES FOR COMPLETE EXTERIOR PAINT SCOPE OF WORK INCLUDING ALL EXTERIOR STUCCO AND BRICK FACADES. REPLACE ALL SOFT JOINTS WITH NEW BACKER ROD AND SEALANT. REFINISH AND REPAINT COMPLETE EXTERIOR STUCCO FACADE INCLUDING BRICK FACADE, AND THE PAINTING OF ALL EXTERIOR HM DOORS AND FRAMES INCLUDING ALL INSIDE AND OUTSIDE FACES. ETC. / 4 COLOR SCHEME MAX.
- 4 IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 5 IF ABI #02 IS SELECTED: PROVIDE NEW LED WALL MOUNTED EXTERIOR LIGHT FIXTURES. REFER TO ELECTRICAL DRAWINGS.
- 6 PROVIDE NEW WEATHER SEALS ON ALL EXTERIOR DOORS. PER EACH DOOR (1) GASKETING CATALOG #: 488SBK PSA / FINISH: BK / MFR: ZER. TYP.
- 7 NEW SCREEN ENCLOSURE. REFER TO SHEET A8.1 DOOR, FRAME & HARDWARE SCHEDULE.
- 8 NEW CONDENSING UNIT ON EXIST. CONC. MECH. SUPPORT PADS. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 9 RENOVATED FLAG POLE CONCRETE SLAB. REFER TO A6.2 SHEET FOR COMPLETE SCOPE OF WORK.
- 10 EXISTING CU UNIT TO REMAIN. COORD. WITH MECHANICAL DRAWINGS.
- 11 IF ABI #04 & #05 ARE SELECTED: PROVIDE AND INSTALL NEW IMPACT GLAZING PROFILE INTO EXISTING WINDOW FRAME SYSTEMS WITH A NEW WET SEAL. IN ADDITION RESEALING ALL WINDOW PERIMETERS PROFILES TO THE EXISTING SUBSTRATE. - TYP. PROVIDE NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY (QUANTITY 2). REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.
- 12 IF ABI #05 IS SELECTED: PROVIDE NEW EXTERIOR FIXED WINDOWS & IMPACT GLAZING FOR KITCHEN ONLY (QUANTITY 2). REFER TO A8.1 DRAWING FOR COMPLETE SCOPE OF WORK.



1 NORTH ELEVATION
A3.2 3/16" = 1'-0"

ABI #4	ABI #1
ABI #5	ABI #2
	ABI #3



2 REAR ELEVATION
A3.2 3/16" = 1'-0"



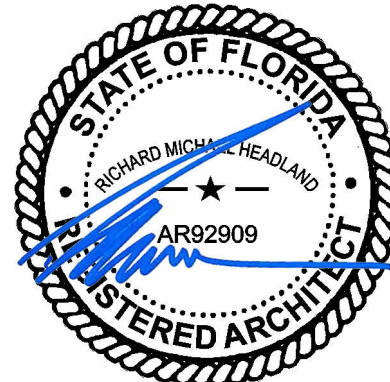
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SHEET TITLE:
BUILDING
EXTERIOR
ELEVATIONS

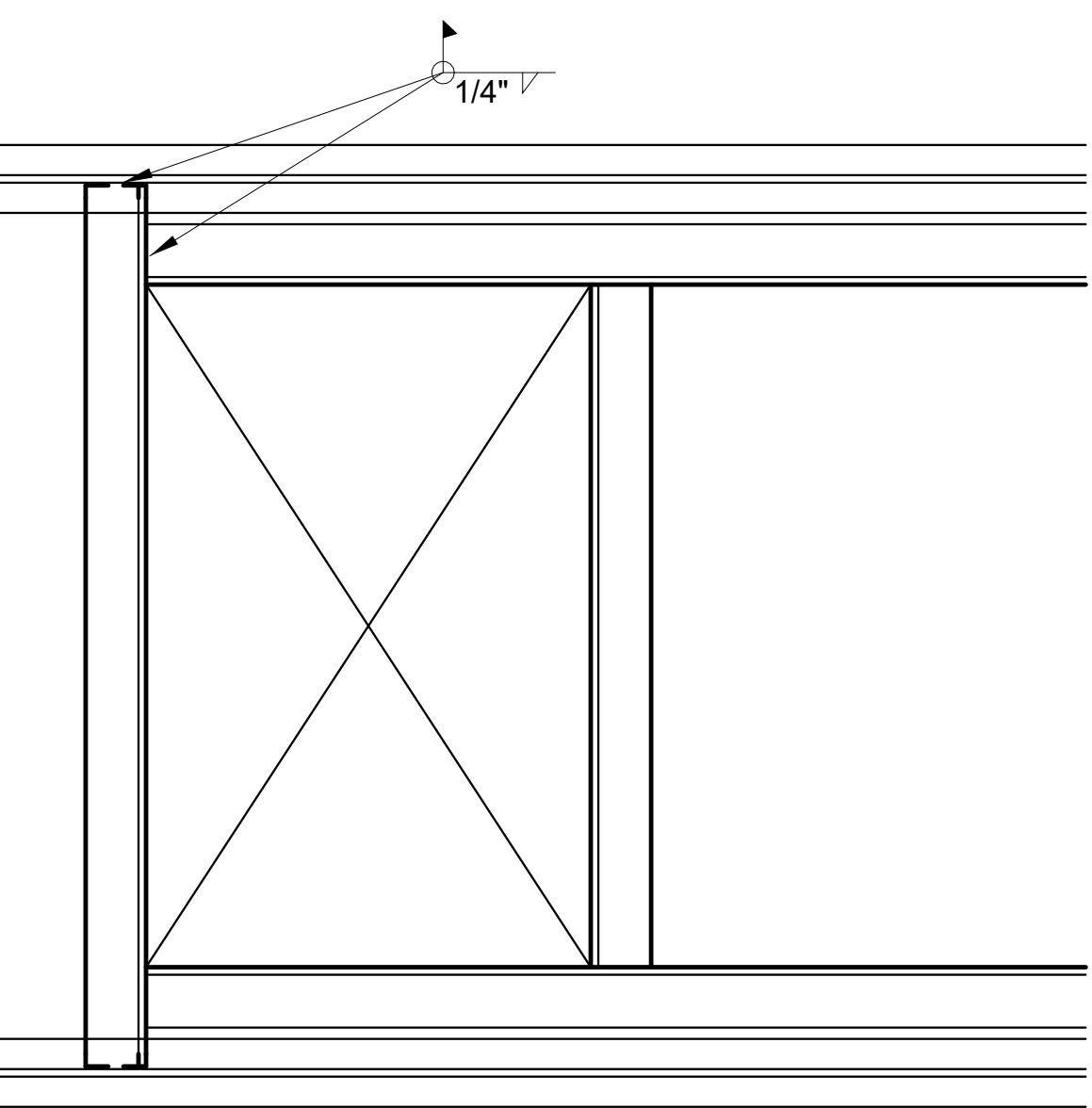
SHEET NO.:

A3.2



GENERAL CONSTRUCTION NOTES

- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- B GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION 10325HGPF. UPON COMPLETION THE WORK. GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
- C REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- D AT LOCATIONS WHERE SYSTEMS AND ACCESSORIES HAVE BEEN REMOVED, PATCH AND REPAIR TO BE FLUSH AND MATCH ADJACENT FINISHES.
- E VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS FOR THE PROPOSED SCOPE OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- F COORDINATE WITH OWNER ON ALLOWABLE WORK HOURS FOR THE CONSTRUCTION. CONSTRUCTION SHALL NOT CREATE EXCESSIVE NOISE OR IMPEDE ON THE OPERATIONS OF THE ADJACENT NEIGHBORS.
- G SECURE ALL EXTERIOR OPENINGS IN THE BUILDING ENVELOPE AT THE END OF WORK EACH DAY.
- H NEW PAINT/ TOUCH UP SUBSTRATES AT ALL AREAS DISTURBED BY THE SCOPE OF CONSTRUCTION ACTIVITIES.
- I COORDINATE ALL SITE ACCESS & LAY DOWN AREA W/ OWNER

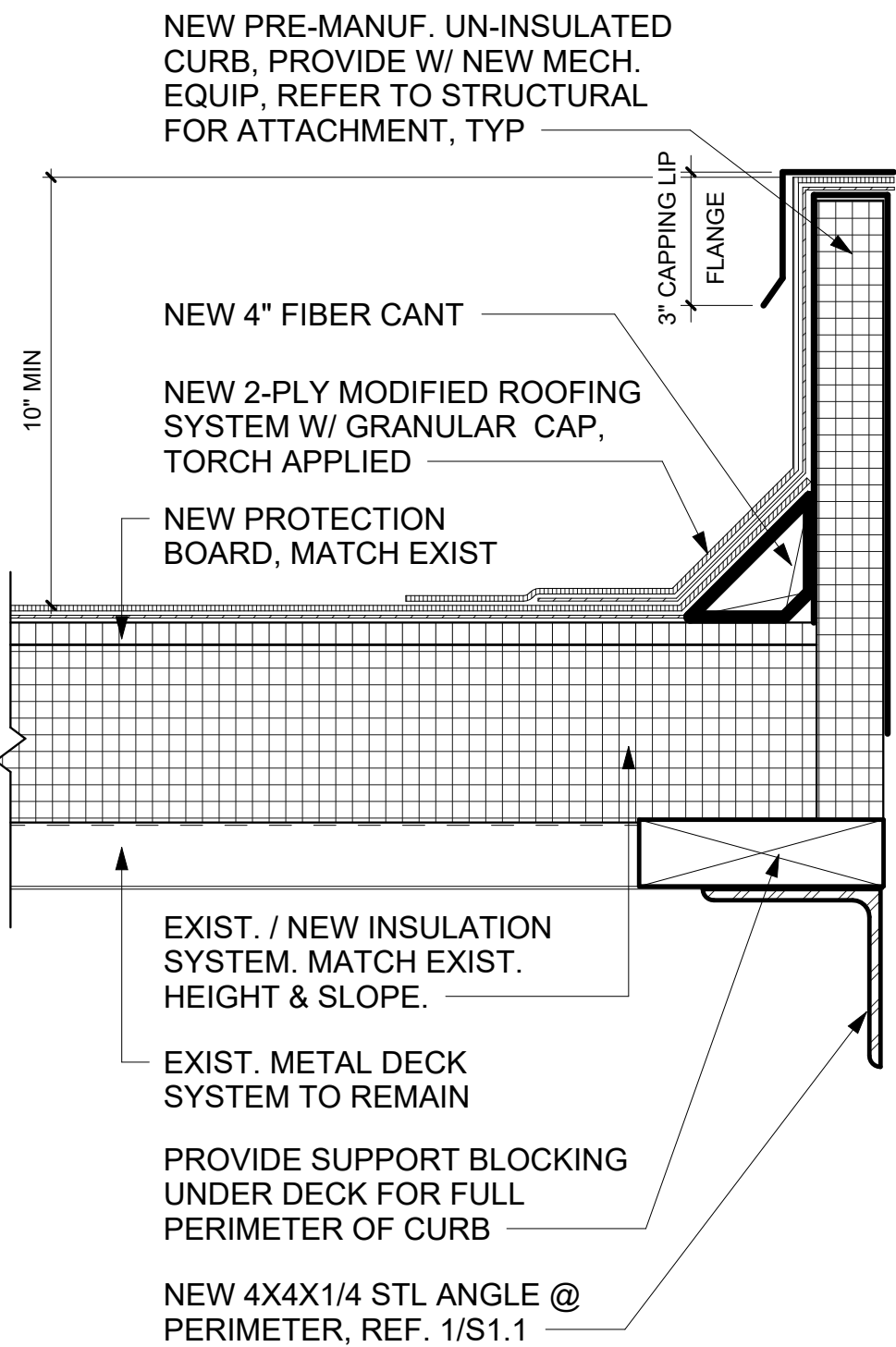


SPECIFIC NOTES

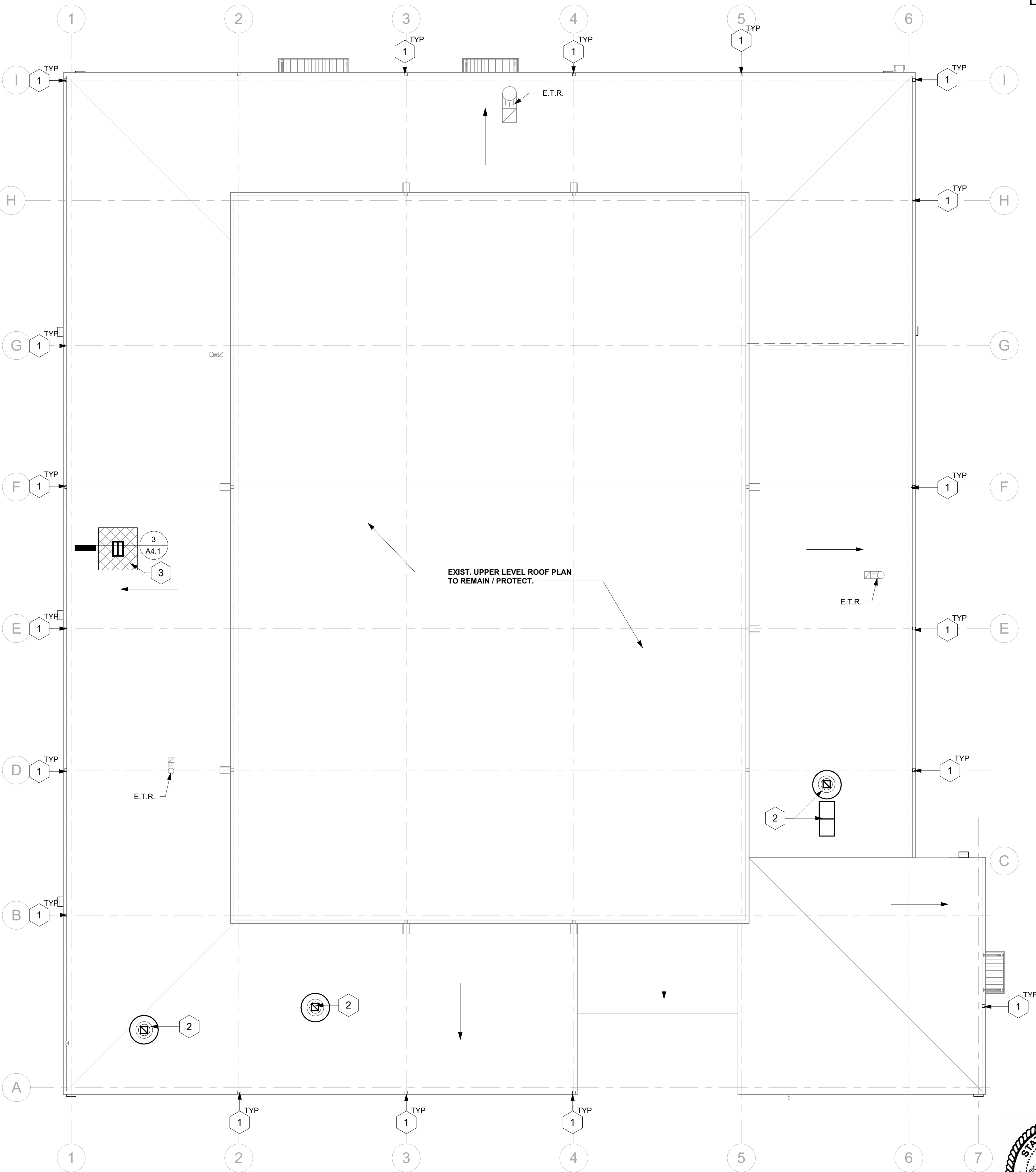
- 1 IF ABI #01 IS SELECTED: EXISTING DOWNSPOUTS - CONNECT ALL DOWNSPOUTS TO UNDERGROUND CIVIL. RE-GRADE RE-SOD AROUND ALL DOWNSPOUT AREAS FOLLOWING CIVIL CONNECTION. REFER TO CIVIL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 2 NEW MECHANICAL EQUIPMENT ON EXISTING CURB TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- 3 COORDINATE AND PROVIDE ACCESS FOR INSTALLATION FOR NEW ROOF PENETRATION FOR NEW 8 X 4 RELIEF DUCT. PROVIDE NEW STRUCTURAL STEEL SUPPORT PER DETAIL 2/A4.1. PROVIDE NEW UN-INSULATED CURB PER DETAIL 3/A4.1. (ATTACH PER FLORIDA PRODUCT APPROVAL REQUIREMENTS.) EXISTING 12" STEEL JOINTS ARE @ 4' O.C. - TYP. COORDINATE WITH MECHANICAL DRAWINGS FOR ALL REQUIREMENTS.

- NOTES:
1. FRAME ALL METAL DECK OPENINGS GREATER THAN 8" DIAMETER INCLUDING RTU'S, HOODS, FANS, ROOF HATCH AND DRAINS WITH L4X4X1/4" WELD ANGLES TO JOIST TOP CHORD.
2. ALL EQUIPMENT CURBS ARE TO BE STRUCTURAL LOAD CARRYING SIZED FOR THE EQUIPMENT USED SEE MECHANICAL DRAWINGS. ATTACH CURBS TO PERIMETER L4X4X1/4" AS SHOWN.
3. ALL ROOF EQUIPMENT, RTU's, ETC. ARE TO BE ATTACHED TO THEIR CURBS AS PER MANUFACTURERS RECOMMENDATIONS FOR THE SPECIFIED WIND LOAD OR AS SHOWN BELOW AS A MINIMUM.
4. PROVIDE L2X2X1/4" UNDER POINT LOADS THAT ARE NOT POSITIONED OVER JOIST PANEL POINTS.
5. COORDINATE ALL EQUIPMENT SIZES AND LOCATIONS WITH APPROVED MECHANICAL SHOP DRAWINGS.
6. REFER TO SIGNED AND SEALED MANUFACTURERES SHOP DRAWINGS FOR TIE DOWNS AND ANCHORAGE OF RTU TO THE CURB. SHOP DRAWINGS ARE TO BE SIGNED AND SEALED BY A DELEGATED FLORIDA PROFESSIONAL ENGINEER.

2 TYPICAL ROOF CURB SUPPORT DETAIL
A4.1 1" = 1'-0"



3 TYPICAL ROOF CURB DETAIL
A4.1 3" = 1'-0"



1 PROPOSED ROOF PLAN
A4.1 1/8" = 1'-0"

ABI #1

100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

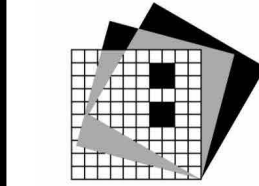
1107 14TH AVE W, PALMETTO, FL 34221

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1 06-17-26 ADDENDUM 02

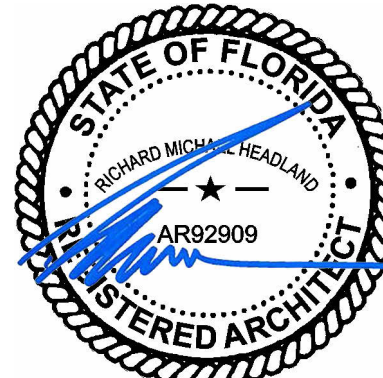
SHEET TITLE:
PROPOSED ROOF PLAN

SHEET NO.:

A4.1



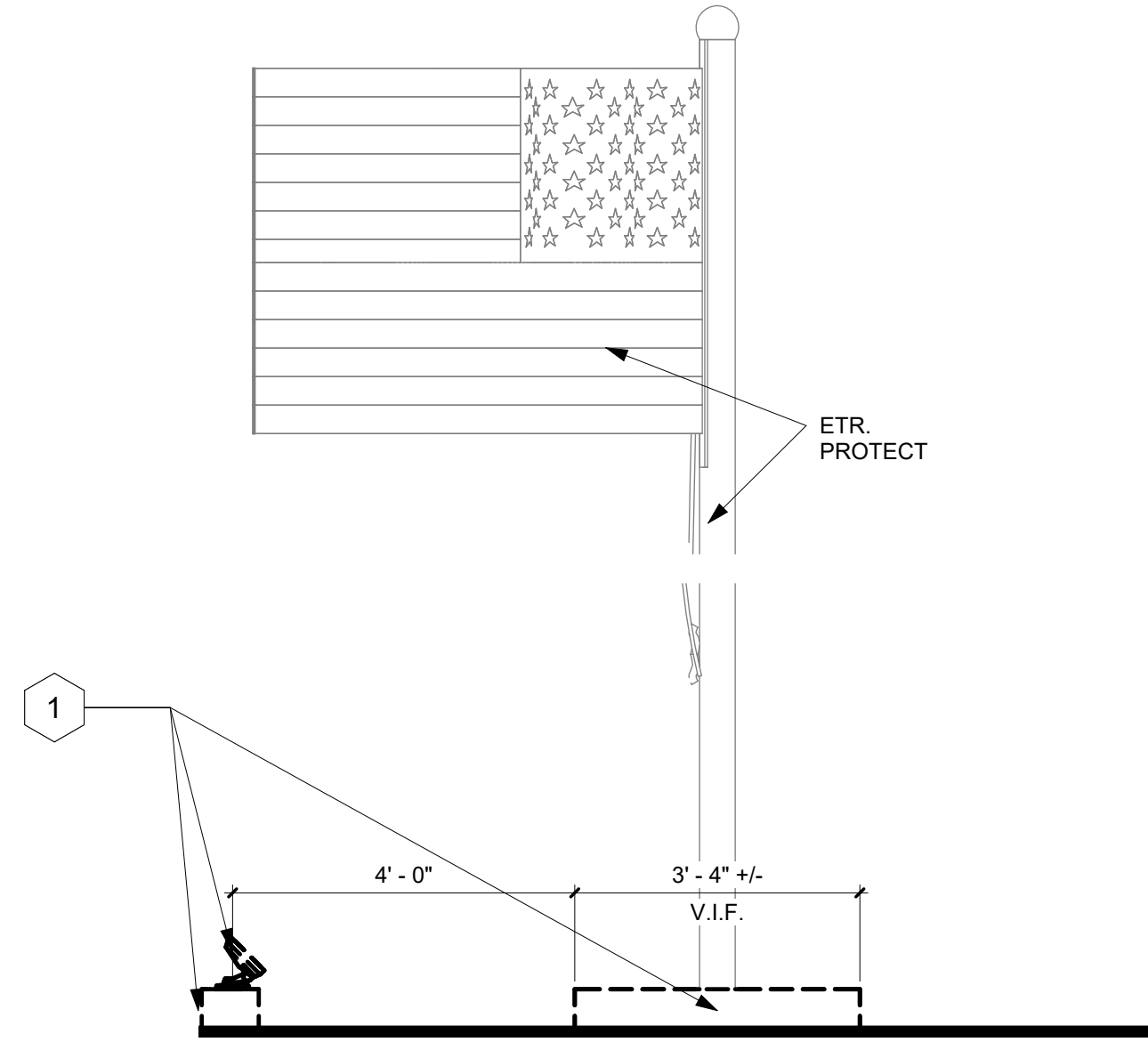
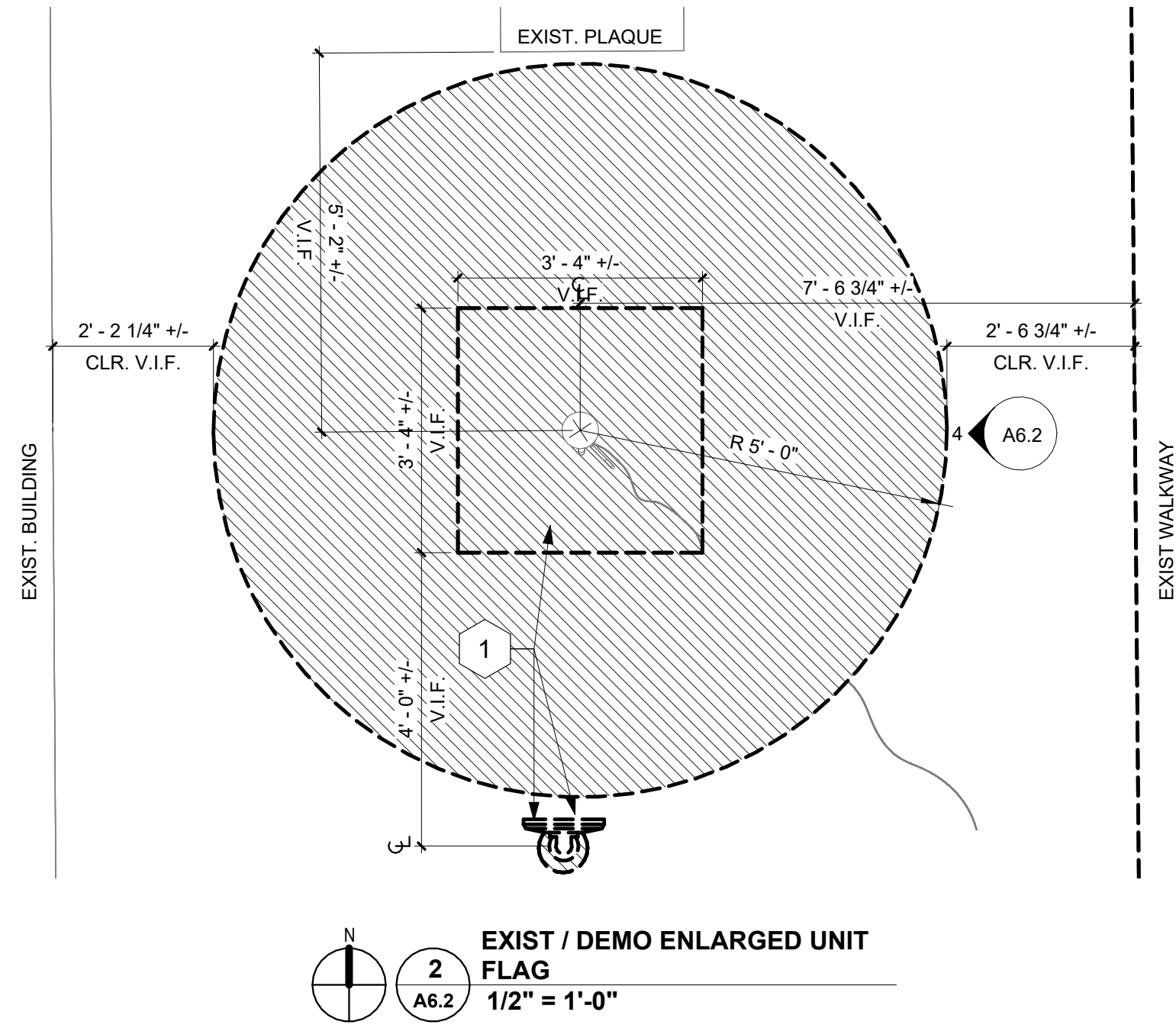
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LIC. AA 0001447



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DEMO SPECIFIC NOTES - UNIT FLAG & UNIT SIGN

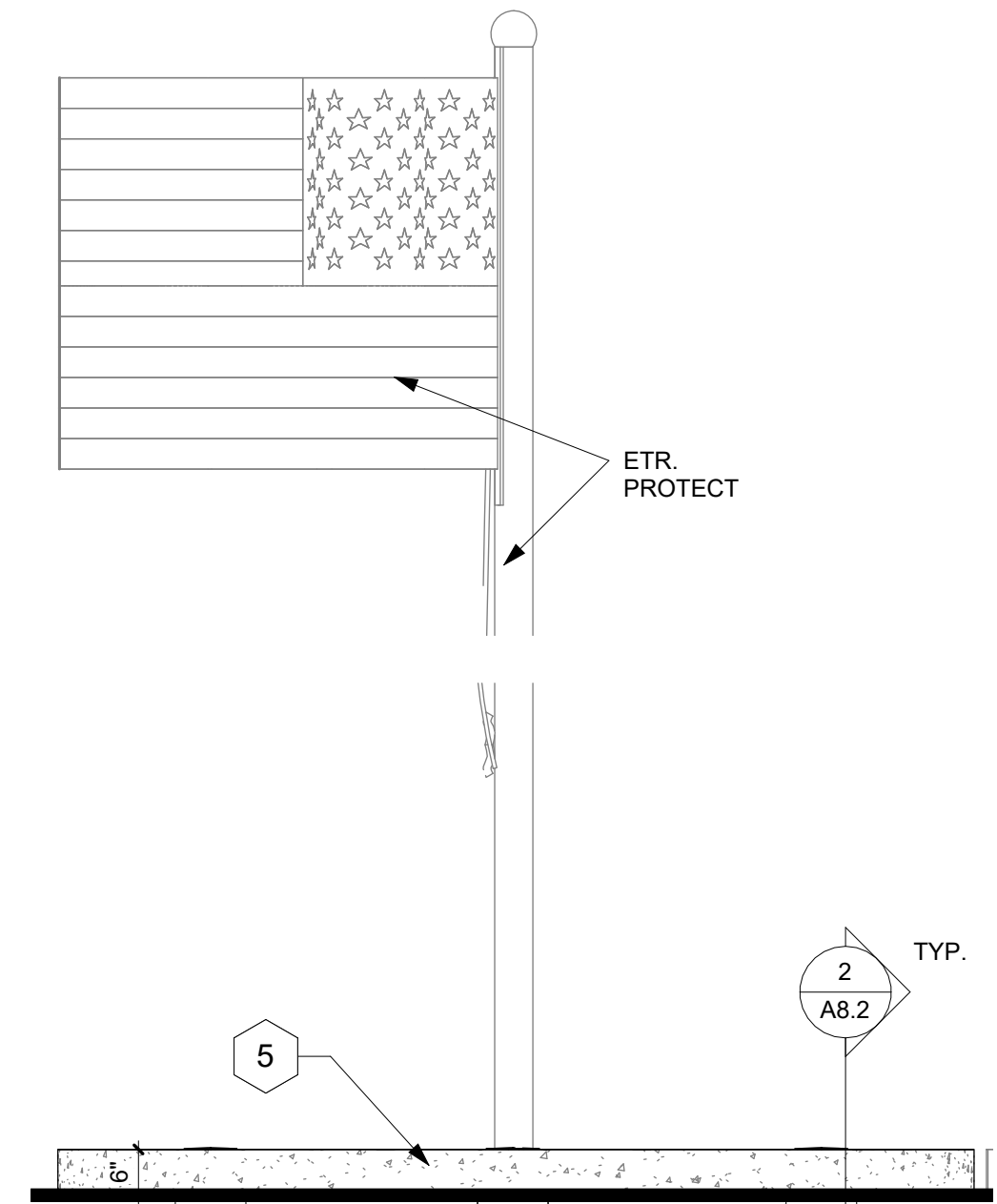
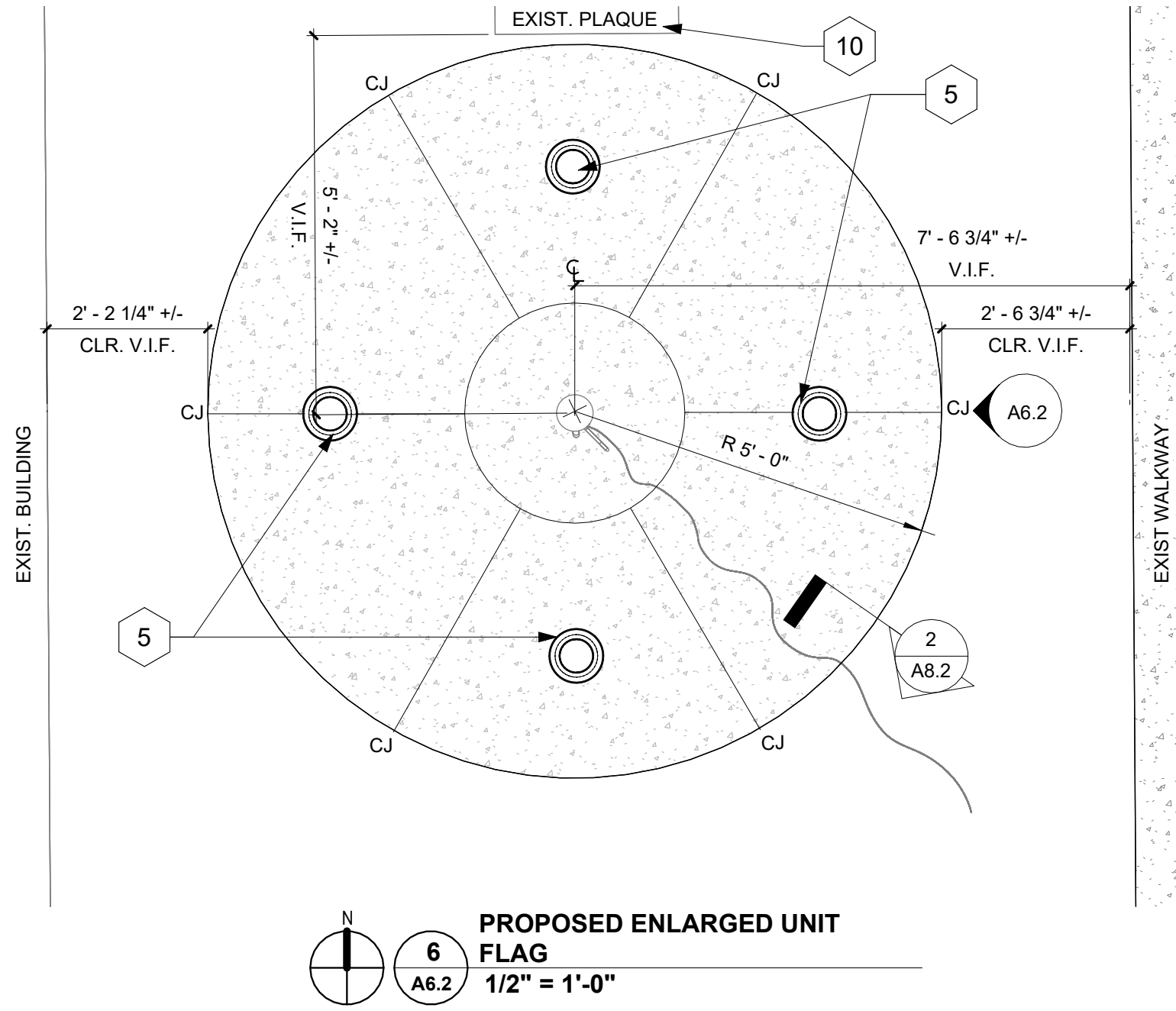
- 1 DEMO EXIST. LIGHT FIXTURE AND DEMO CONCRETE SLAB ONLY. PROTECT UNIT FLAG POLE SYSTEM. SAW-CUT & REMOVE PORTION OF EXIST. GROUND DOWN TO CLEAN FILL AS REQUIRED. PREPARE AREA FOR NEW CONCRETE SLAB. COORD. W/ NEW SCOPE OF WORK.
- 2 DEMO EXIST. LIGHT FIXTURES AND DEMO CONCRETE SLAB ONLY. SAW-CUT & REMOVE PORTION OF EXIST. GROUND DOWN TO CLEAN FILL AS REQUIRED. PREPARE AREA FOR NEW CONCRETE CURB & FOUNDATION SYSTEM. COORD. W/ NEW SCOPE OF WORK.
- 3 EXIST. UNIT SIGN & STONE SYSTEM TO REMAIN / PROTECT. PRESSURE WASH & SEAL EXISTING STONE FACES. VERIFY FUNCTION OF EXISTING EXTERIOR ELECTRICAL OUTLET, REPAIR OR REPLACE AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 4 SAW-CUT TO FLUSH SHORT SIDE OF EXIST CONCRETE EDGES.



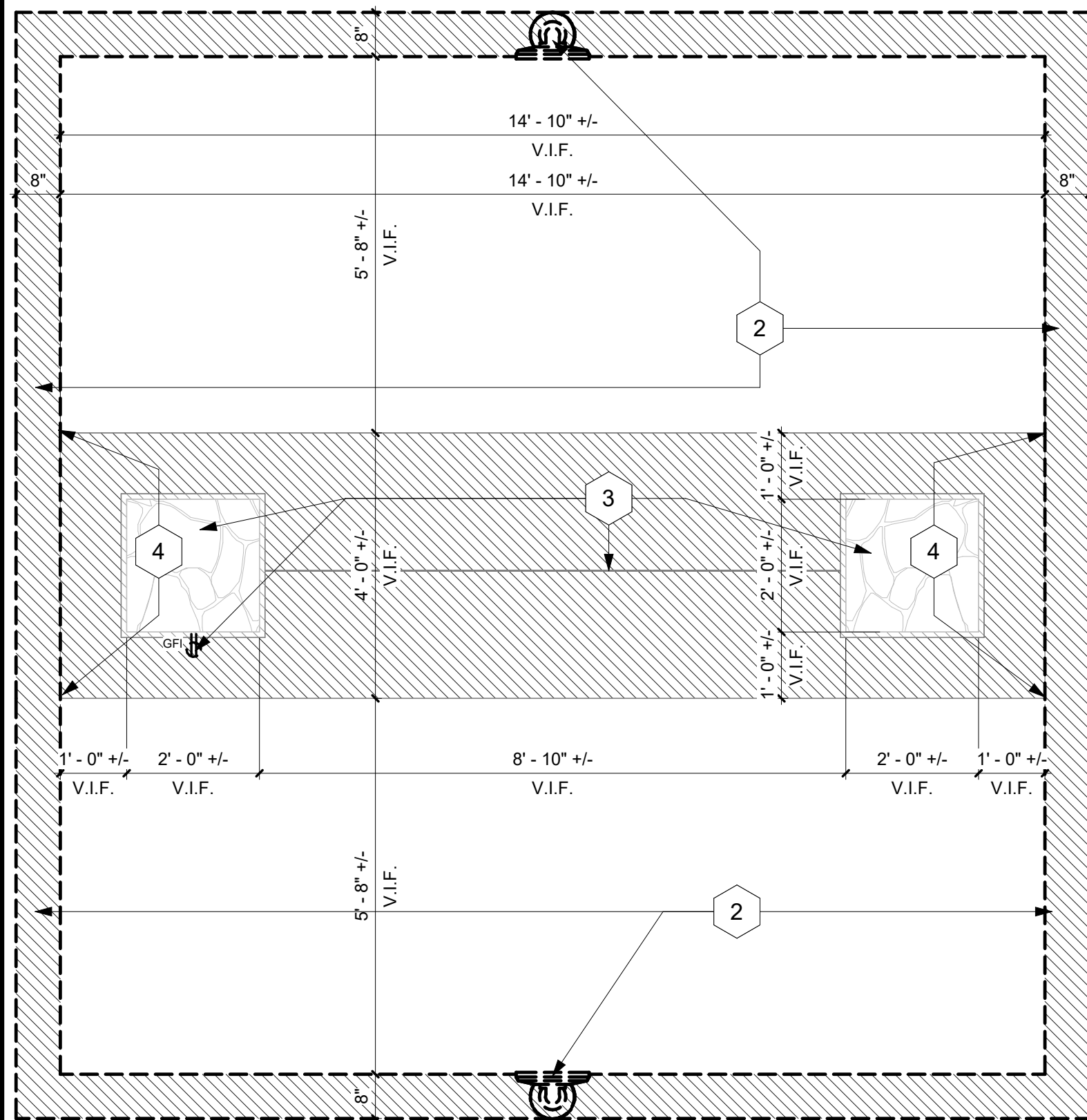
4 EXIST / DEMO UNIT FLAG - TYP ELEVATION
1/2" = 1'-0"

SPECIFIC NOTES - UNIT FLAG & UNIT SIGN

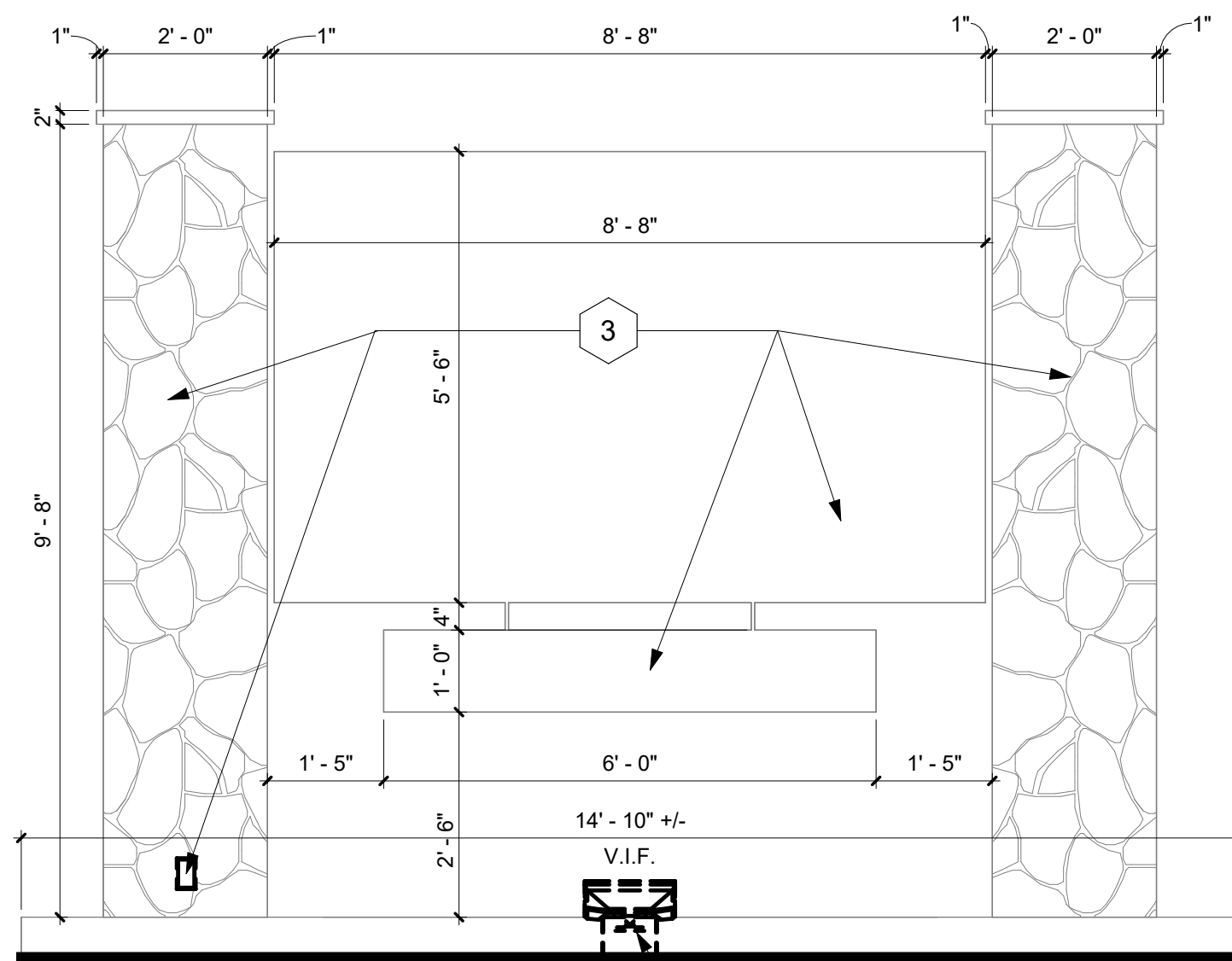
- 5 PROVIDE NEW LED FLAG POLE LIGHT FIXTURES TO NEW 10'-0" DIA. 6" THK CONCRETE SLAB. PROTECT EXISTING UNIT FLAG POLE SYSTEM. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 6 PROVIDE NEW LED SIGN LIGHT FIXTURES TO NEW 6" THK REINFORCED CONCRETE CURB & FOUNDATION SYSTEM. REFER TO DETAIL & ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 7 EXIST. UNIT SIGN & STONE SYSTEM TO REMAIN / PROTECT. PRESSURE WASH & SEAL EXISTING STONE FACES.
- 8 INFILL WITH LANDSCAPE FABRIC BASE AND 5" OF #57 GRAVEL. PROVIDE ADDITIONAL GRADE TO PROVIDE A LEVEL BASE FOR THE NEW LANDSCAPE FABRIC AND GRAVEL.
- 9 VERIFY FUNCTION OF EXISTING EXTERIOR ELECTRICAL OUTLET, REPAIR OR REPLACE AS REQUIRED. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 10 EXISTING PLAQUE TO REMAIN / PROTECT.



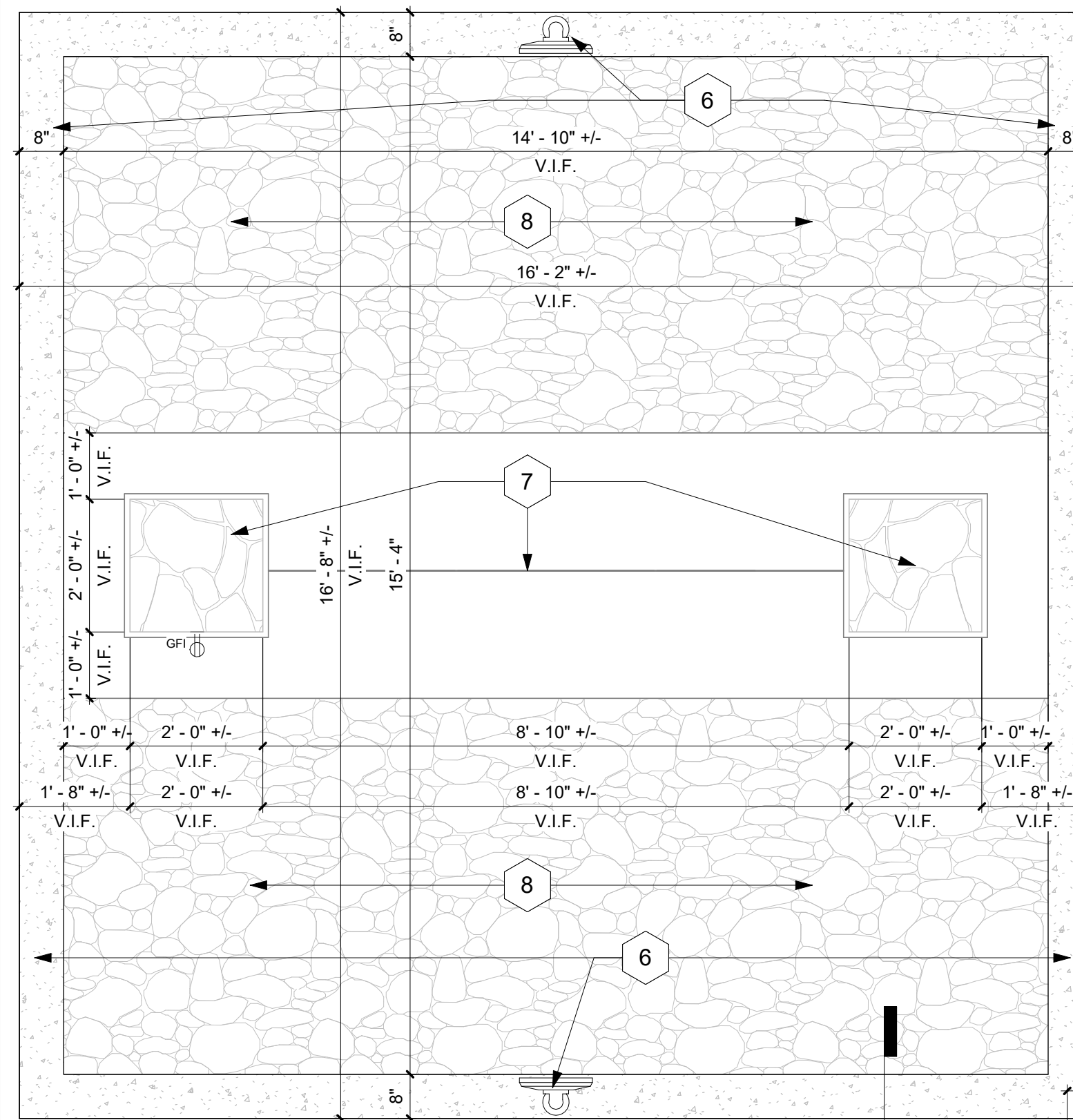
8 PROPOSED UNIT FLAG - TYP ELEVATION
1/2" = 1'-0"



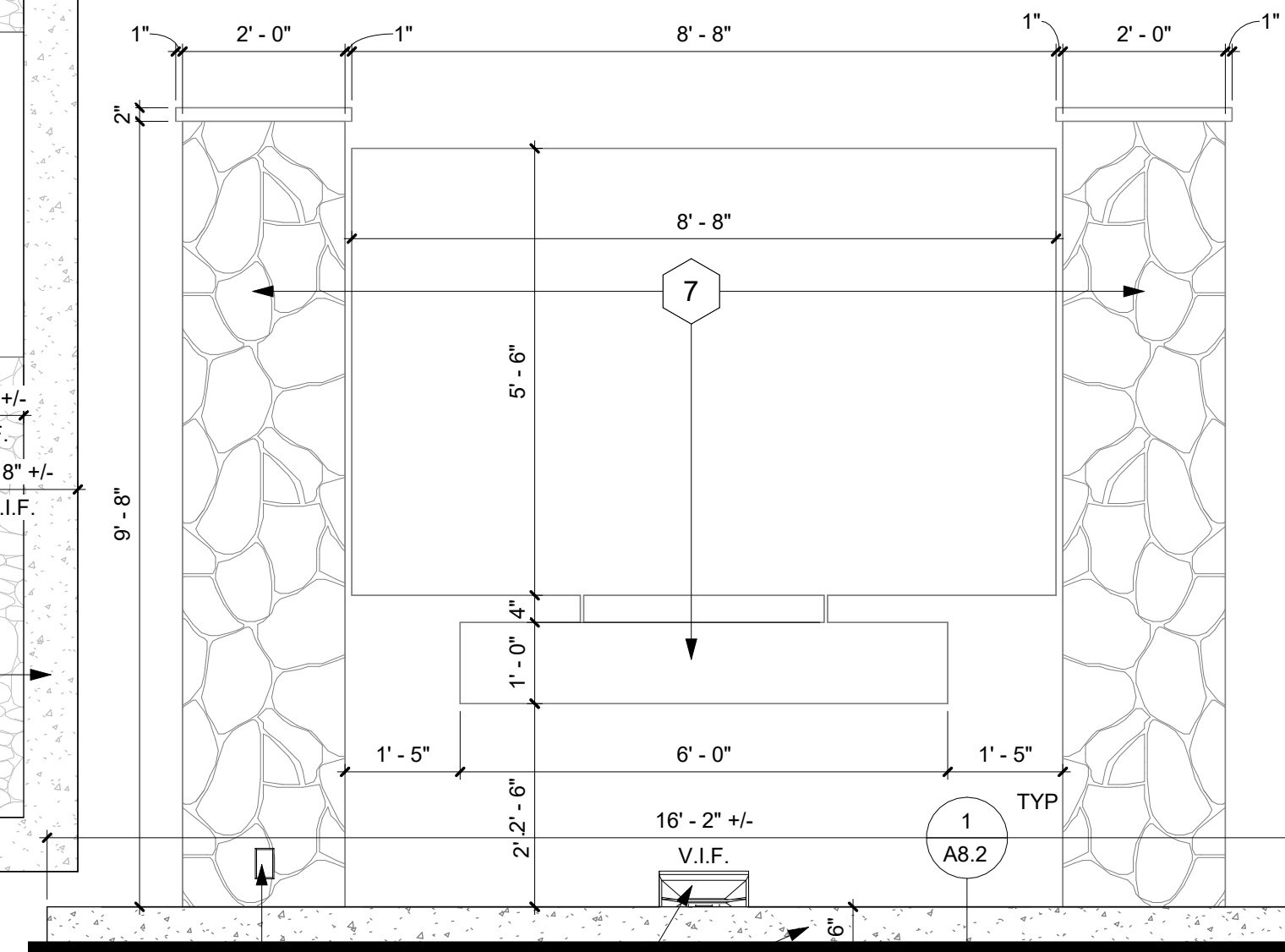
1 EXIST / DEMO ENLARGED UNIT SIGN
1/2" = 1'-0"



3 EXIST / DEMO UNIT SIGN - TYP ELEVATION
1/2" = 1'-0"



5 PROPOSED ENLARGED UNIT SIGN
1/2" = 1'-0"



7 PROPOSED UNIT SIGN - TYP ELEVATION
1/2" = 1'-0"

100% CONSTRUCTION DOCUMENTS

DMA CFMO # 224004

PALMETTO ESP RENOVATION

NATIONAL GUARD ARMORY

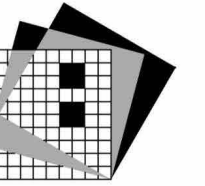
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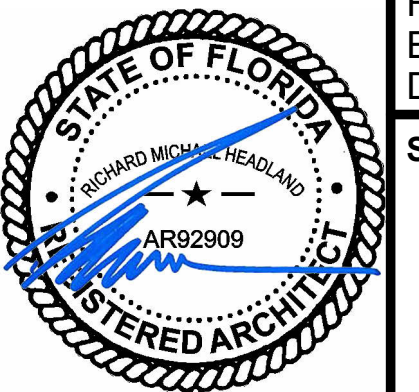
SHEET TITLE:
ENLARGED FRONT
SIGN & FLAG POLE -
FLOOR PLANS,
ELEVATIONS, &
DETAILS

SHEET NO.:

A6.2



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RCP GENERAL NOTES

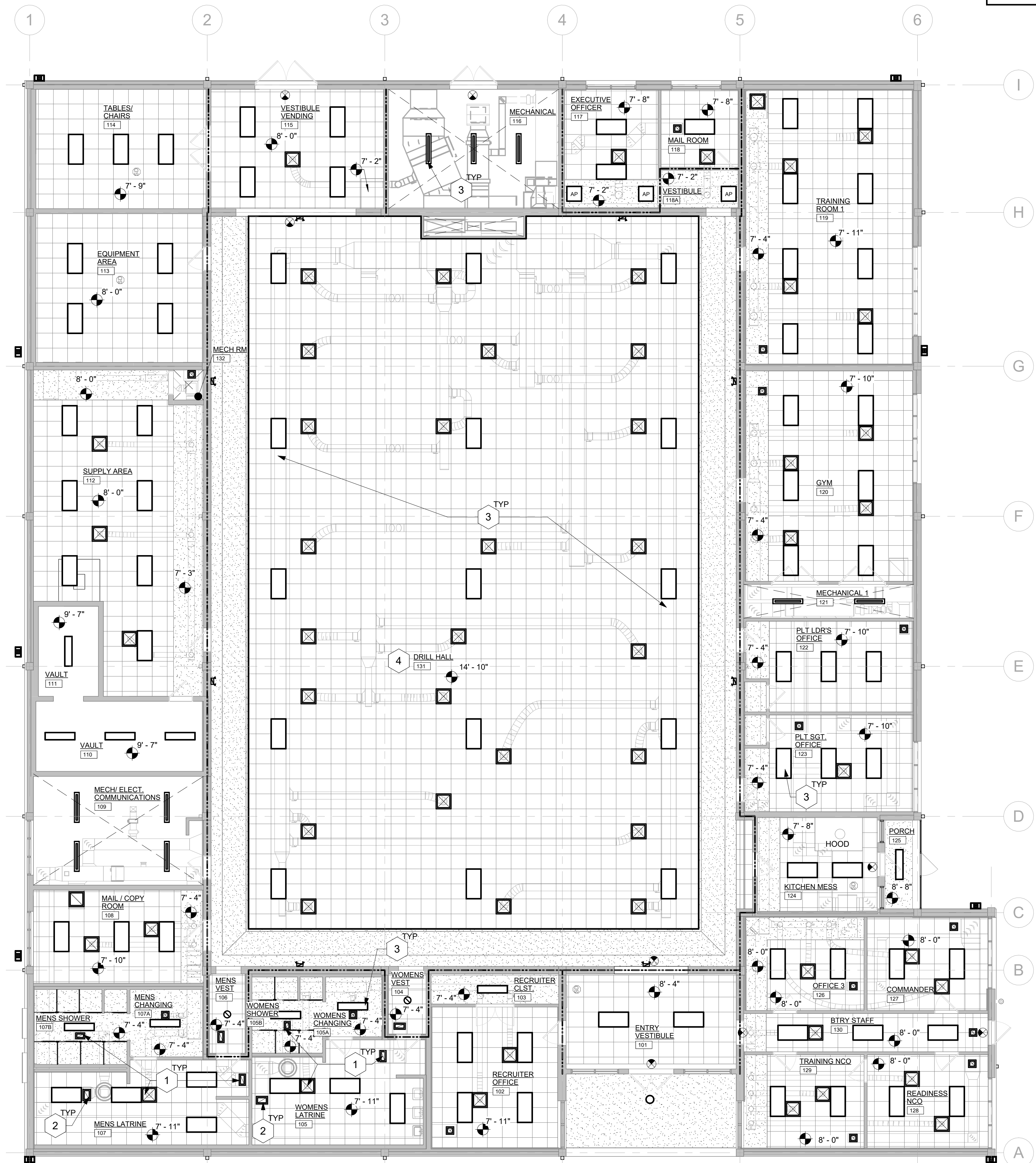
- A REFER TO ABI WORK LIST ON COVER SHEET FOR COMPLETE ALTERNATE BID ITEMS SCOPE OF WORK.
- B GAF MOD BIT ROOF SYSTEM TO REMAIN AND TO PROTECT. GC TO COORDINATE ALL WORK ON THE ROOF WITH THE ROOFING SUBCONTRACTOR RF LUSA & SONS SHEET METAL INC. AS TO NOT VOID EXIST. ROOF GUARANTEE # G2024-0001391-001-001 / 25 YEAR NDL ROOF GUARANTEE / GUARANTEE EXPIRATION DATE : 4.15.2049 / ROOF SPECIFICATION 10325HGPF. UPON COMPLETION THE WORK. GC TO PROVIDE MFGR LETTER INDICATING THE WARRANTY IS STILL INTACT.
- C REFERENCE ENVIRONMENTAL REPORT IN ADDENDUM # 2 FOR ENVIRONMENTAL SURVEYS OF ASBESTOS AND LEAD FOR THIS BUILDING. ANY WORK THAT INTERFACES WITH CONTAMINATED MATERIALS AS OUTLINED IN THE ENVIRONMENTAL SURVEYS SHALL BE PERFORMED PER THE RECOMMENDATIONS IN THE REPORT AND FOLLOW ALL APPLICABLE STANDARDS FOR ABATEMENT AND REMEDIATION.
- D EXIT SIGNS SHALL BE ALIGNED WITH THE CENTER OF DOORS UNLESS OTHERWISE NOTED. CEILING MOUNTED EXIT SIGNS SHALL BE CENTERED IN CORRIDOR OR CEILING PANEL IN OPEN AREAS UNLESS OTHERWISE NOTED. SEE ENGINEERING DRAWINGS FOR LOCATION.
- E VERIFY LOCATIONS OF ALL LIGHT FIXTURES, AIR SUPPLY AND RETURN GRILLES WITH PLANS AND COORDINATE INSTALLATION WITH MECHANICAL AND ELECTRICAL CONTRACTORS. NOTIFY ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
- F AT ACOUSTICAL PANEL CEILING, LOCATE ELECTRICAL OR LIFE SAFETY FIXTURES AND DEVICES IN CENTER OF PANEL, UNLESS OTHERWISE NOTED.
- G SUPPORT FINISH EDGES OF CEILING WITH EDGE ANGLES ATTACHED TO WALL. EDGE ANGLES TO RECEIVE CONT. BEAD OF ACOUSTICAL SEALANT.
- H ALL APC SYSTEMS TO HAVE A MINIMUM CEILING ATTENUATION CLASS RATING OF 35

SPECIFIC NOTES

- 1 NEW EXHAUST FANS AT LATRINES. REFER TO MECHANICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 2 PROVIDE NEW STARTERS IN ALL EXHAUST FAN REPLACEMENT SOW. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 3 IF ABI #02 IS SELECTED: NEW LED LIGHTING FIXTURES. REFER TO ELECTRICAL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- 4 NEW 2X2 ACOUSTIC CEILING TILE IN DRILL HALL ROOM 131 ONLY. GRID TO REMAIN. OLD DRILL HALL TILE TO BE USED TO REPLACE OLD SOILED TILE IN REMAINDER OF BUILDING.

RCP LEGEND

- NEW 2'X2' APC SYSTEM AT DRILL HALL ROOM 131 ONLY. GRID TO REMAIN
- EXIST. HARD CEILING SYSTEMS TO REMAIN, PROTECT.
- EXISTING WALL / PARTITION TO REMAIN
- EXISTING 2HR RATED FIRE PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION TYPE SCHEDULE
- NEW 2x4 LIGHT FIXTURE. RAISE & SECURE IN PLACE. SEE ELECT.
- NEW 1x4 LIGHT FIXTURE. RAISE & SECURE IN PLACE. SEE ELECT.
- NEW CLG. MTD. LIGHT FIXTURE. RAISE & SECURE IN PLACE. SEE ELECT.
- NEW UPRIGHT FIRE SPRINKLER HEAD. SEE FP.
- NEW RETURN REGISTER. SEE MECH.
- NEW SUPPLY DIFFUSER. SEE MECH.
- WALL MTD. RETURN REGISTER. SEE MECH.
- WALL MTD. SUPPLY DIFFUSER. SEE MECH.
- NEW EXHAUST FAN. SEE MECH.
- EXISTING CLG. MTD. OCCUPANCY SENSOR
- CLG. MTD. SPEAKER SEE ELECT.
- EXISTING CLG. MTD. SMOKE DETECTOR
- EXISTING WALL MTD. FIRE STROBE
- EXISTING CLG. MTD. WIRELESS ACCESS POINT
- EXISTING CLG. MTD. EXIT SIGN
- EXISTING CLG. MTD. DUPLEX OUTLET
- EXISTING WALL MTD. THERMOSTAT
- EXISTING WALL MTD. DOORBELL
- EXISTING WALL MTD. EMERGENCY LIGHT



ABI #2

