

Date: June 25th, 2026

To: Potential Bidders

Project: Lake Lynn West Loop Trail Improvements
COR Project No. 274-2026-CM-P-07R
Dewberry Project 50181201

Owner: City of Raleigh
222 W. Hargett Street, Suite 400
Raleigh, NC 27601

Engineer: Dewberry Engineers Inc.
2610 Wycliff Road, Suite 410
Raleigh, NC 27607

RE: Addendum No. 1

This Addendum Includes:

- Introduction
- Addendum Information
- Contractor Questions and Responses (including from first Pre-Bid Meeting)
- Attachment 1: Pre-Bid Meeting Minutes dated May 28th, 2026 and Attendance Record, and Agenda
- Attachment 2: Plan Holders List of all contractors who have shown interest in the project

Introduction:

This addendum, applicable to the work designated herein, shall be understood to be and is an Addendum to the contract documents and, such, shall become a part of and included in the contract. All other terms, conditions, and descriptions remain the same. This addendum No. 1 replaces all addenda from the previously advertised for bid project. Material from previous addenda have been incorporated into the updated plans and specifications and/or included in this addendum No. 1. Make sure to obtain and use the re-issued bidding documents, which can be obtained by reaching out to Ellie Hair at the email address below.

This project has been re-advertised for bid due to insufficient bids received at the first bid opening. The readvertised bid date is **Thursday, July 23rd, 2026, at 11:00 AM.**

Please reach out to Ellie Hair at ehair@Dewberry.com for bid documents.

Addendum Information:

Pre-Bid Meeting

The upcoming pre-bid meeting is not mandatory, but attendance is strongly encouraged.

Construction Access:

As discussed in the first Pre-Bid Meeting, construction access to the site as shown in the contract documents is limited. Dewberry and COR are looking into additional access opportunities. We cannot guarantee other access points can be added to the project at this time. An additional construction access has been included in the bid documents as “Alternate #4”. See more information below.

Alternate #4: The City of Raleigh (COR) is investigating using this additional access point (area indicated by red line below). No storage will be allowed in this area. This alternate shall include the additive cost for Tree Protection Fencing, Silt Fencing, Tree Trimming, incidental costs to do this work as well as any potential deductive cost for having access to this additional access, for a total net (add or deduct) alternate to the project. The COR will then determine if this alternate will be used. See Bid Form, Alternate 4.

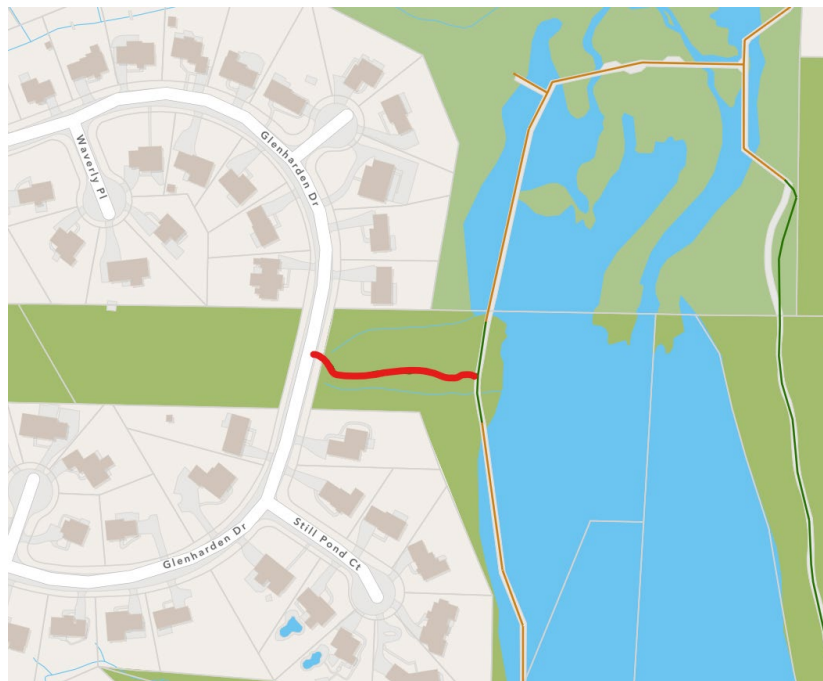


Figure 1 Alternate #4 Additional Construction Entrance Location

Signage Shop Drawings

Shop drawings for all permanent signage installed during construction shall be submitted to the Owner and Landscape Architect for approval by the contractor prior to installation.

No-Net-Fill Requirements

As discussed in the first Pre-Bid Meeting, this project is under a No-Net-Fill requirement. Final grading of the site shall conform to this requirement (no net fill).

Comments Made During First Pre-Bid Meeting Site Walk

Comments made by design team during the site walk include:

- As we walk past the apartments, be sure to note that, as shown in the plans (Sheets L205 – L208), acquired greenway easement has been purchased for this project. Before the

commencement of construction operations, the contractor shall stake limits to ensure work remains within the limits of the easement.

- All of our proposed retaining walls should be under four feet. Trade permits are the responsibility of the contractor to obtain, should they be required to complete the work.

Once the east loop portion (the northern most portion of this project) is completed, the east loop can be opened to the public to allow access between the two parking lots. That is something to consider when sequencing the project.

Contractor Q&A:

Questions Received for Re-Issued Plans

Question: Is PermaTrak an acceptable alternative for boardwalk material?

Answer: Yes.

Question: Can the designers provide cut/fill calculations?

Answer: Approximate cut/fill of the site should be 2,400 cubic yards (cy) of cut, and 1,900 cy of fill for a total net 500 cy of cut. Designer's assumptions of approximate cut and fill are being provided solely for informational purposes. The contractor will be responsible for constructing the project as indicated in the plans and specifications at the cost in the bid form.

Questions Received for Originally Issued Plans from the Initial Advertisement for Bid

Question: Who (which contractors) will receive addenda?

Answer: All contractors that have shown interest in the project. This includes contractors who have reached out to Ellie Hair for bid documents, and those who signed in at the first Pre-Bid Meeting. Addenda will be posted to eVP.

Question: Is Department of Administration (DOA) an acceptable source to find Minority and Women-Owned Business Enterprise (MWBE) firms?

Answer: Yes, that is the NC eVP source, so it is acceptable.

Question: Is alternative 2 (steel piles) including alternative 1 (realignment)?

Answer: No. We do not anticipate combining the alternates.

Question: Are the proposed steel piles helical or H-piles?

Answer: Neither; round piles (HSS8.625x0.375) are proposed for the steel-pile alternative.

Question: Some of the allowances are termed 'additional'. Is the contractor supposed to add that allowance on-top of what they would include? (For example, would they add the 'additional' 100,000 square feet of seeding on top of what they deemed necessary?)

Answer: That is correct. Allowances 1, 3, 4, and 6 have been removed from previously issued plans from initial advertisement for bids, to avoid confusion. The allowance for 500 cy of additional riprap is remaining, and this answer would apply there. It is the responsibility of the contractor to meet the permit conditions that are required by NCDEQ, COR, etc., which may mean additional measures beyond what are shown on the documents. We are removing these allowances knowing that contractors will include these in their base bids to meet their due diligence. Please use the re-issued bidding documents to be obtained from Dewberry.

Question: Allowance #6 refers to a unit price; what unit price would we use for erosion control preparation, as that may have a few different items/units?

Answer: This allowance has been removed from originally issued plans from initial advertisement for bid to avoid confusion.

Question: Is Good Faith Effort (GFE) required for 10% or 15%?

Answer: 15%?

Question: Are allowances included in the GFE goal?

Answer: Yes, except for the COR contingency. Allowances and alternates are to be included in the GFE goal, but not contingency.

Question: Is it the responsibility of the contractor to do permit fee research?

Answer: Yes. Permits required through COR Development Services as a result of plan review have been added to the 011000 Summary of Work. These have been included in section 1.7 (C)(1)(d) 1-4. The contractor has \$10,000 allowance included for the cost of COR development services, site permits, and building permits. All other permits incidental to the project are the responsibility of the contractor.

Question: Is it the responsibility of the contractor to pull the permits?

Answer: Yes.

Question: Where is site access? How do we access areas bounded by boardwalk?

Answer: Dewberry and COR understand that site access as it is currently shown is limited. In hopes to alleviate this issue, the design team has changed the base bid from originally issued plans from initial advertisement for bid to include concrete trail in certain sections bounded by boardwalk. Dewberry and COR are also looking into opportunities for additional access points. Please see paragraph above under "Construction Access" for more information.

Question: How do contractors quantify unsuitable soils?

Answer: There is a geotechnical report included in the contract documents. We have removed allowance 1 (unsuitable soils) from originally issued plans from the initial advertisement for bid to avoid further confusion.

Question: Contractors are to submit three separate numbers (base bid, alternate 1, and alternate 2)?

Follow up question: Do we want to combine alternate 1 and alternate 2 into alternate 3?

Answer: Yes, the contractors are to submit separate numbers for the base bid and all alternates. We have indicated on Alternate #2 the alignment to be used. Alternate #3 has been provided from a suggestion during the first site walk.

Question: Does unit price = lump sum of allowance / quantity? (Unit price equals lump sum of allowance divided by quantity)?

Answer: Yes.

Question: Can contractors be provided with an engineer's estimate?

Answer: This is not being made available to the potential bidders.

Question: Are there any weight limits on the boardwalk?

Answer: For timber pile option:

H5 truck is a total of 10,000 lbs (split between one 2kip axle and one 8kip axle)
90psf comes out to 9,000 lbs per 10' span

For steel pile alternative:

H5 truck is a total of 10,000 lbs (split between one 2kip axle and one 8kip axle)
90psf comes out to 18,000 lbs per 20' span

Question: What are the current piles on the existing boardwalks?

Answer: Timber.

Question: Is the water we're seeing drought level?

Answer: Yes; it overtops when there have been storms.

Question: Is the second boardwalk we crossed travelling north-to-south also being re-done?

Answer: No, as indicated on the plans.

Question: Is all of the asphalt being replaced?

Answer: Yes, as indicated on the plans.

Question: Will contractors have to take out trees?

Answer: Yes, and the contractor will have to coordinate with the City's urban forester as indicated on the plans. Contractor to take out trees shown on plan, and there's an allowance for additional trees to be removed.

Question/Comment: Worried that there will be damage to the existing boardwalks that are used for site access.

Answer: Design team has added an alternate for concrete to alleviate stress. Contractor is responsible for means and methods to maintain integrity of existing facilities. Please see paragraph above under "Construction Access" for more information.

Question: Will the first retaining wall we passed traveling north-to-south be replaced?

Answer: No, we are taking out that retaining wall and grading out that portion, as indicated on the plans.

Question: Can contractors submit a redesign for a concrete greenway in some areas? (i.e. between boardwalks it might be easier to pour concrete than asphalt).

Answer: The Bid Form, Drawings, and Specifications have been updated from originally issued plans from the initial advertisement for bid to include concrete greenway in some portions of the greenway between boardwalks for Alternate #3.

Question: Can contractors swap concrete decking for timber?

Answer: No; timber decking is not acceptable to COR.

Question: Drawing G002 states the site is being bid as unclassified. However, we are including quantity allowances for unsuitable soil removal and replacement. Can you verify the site is being bid as classified and we will be paid for any unsuitable soil or rock that is encountered?

Answer: We are removing this allowance from originally issued plans from the initial advertisement for bid to reduce confusion. The excavation is to be unclassified. Please use the reissued plans from Dewberry.

Question: Has it been confirmed if we will be able to use the electrical easements to access the project site?

Answer: This has not been confirmed. We do not anticipate having this answer before bid, so please submit your bids as if access through these easements are not possible.

Question: What cost should we include in our bid allowance for number 7? Shouldn't this be given so everyone is carrying the same amount?

Answer: Allowance amount of \$10K has been included in the reissued plans. Please use reissued plans from Dewberry.

Question: Specs state that we are required to use the owners web based project software throughout the project (Trimble Unity Construct). Is this something that we will have to pay for or does the owner pay for the licenses? Would Procore be able to be used instead of this software?

Answer: The COR has an enterprise license for Trimble and will provide the contractor with the license at no cost. Contractor must use TUC.

Question: Specs state "Payment for these services will be made from testing and inspection allowances, as authorized by Change Orders". I do not see this allowance included in the allowance section. Will this be added?

Answer: This statement has been removed from the specification; reissued specifications do not include this statement.

Question: Drawings call for us to install temporary timber matting on top of the existing boardwalks. Has it been confirmed that the existing boardwalks can hold this extra weight as well as the weight of the construction equipment?

Answer: (Design weights of the proposed boardwalks have been provided above.) It is the contractor's responsibility, through means and methods, to protect the existing facilities that are to remain.

Question: If we can access the site via the Duke Energy transmission line right-of-way is the timber matting required on the boardwalks?

Answer: Yes.

End of Addendum No. 1



MEETING MINUTES

DATE: May 28th, 2026

TIME: 1 PM – 3 PM

LOCATION: Lake Lynn Community Center Studio Room (7921 Ray Road)

PURPOSE: Pre-Bid Meeting for the Lake Lynn West Loop Trail Improvements Project

In Attendance

NAME	✓	ORGANIZATION
Bentley Ruggles	✓	[Dewberry]
Ellie Hair	✓	[Dewberry]
Emily Dolatowski	✓	[Dewberry]
Jaleel Alsarray	✓	City of Raleigh
Kelly Ham	✓	City of Raleigh
Mark Heinicke	✓	City of Raleigh
Pam Adderly	✓	City of Raleigh

Discussion

Bentley Ruggles (Dewberry) reviews the agenda. Pam Adderly (City of Raleigh, COR) reviews MWBE policy. The group goes on the site walk.

Please see corresponding pre-bid meeting agenda. Please see corresponding Addendum #1 for questions asked during the site walk.

We believe the foregoing record to be an accurate summary of the meeting and related decisions. We would appreciate notification of exceptions or corrections to these Minutes within five (5) days of receipt. Without notification, we will consider these minutes to be a record of fact.

Sincerely, Ellie Hair, RLA

May 28th, 2026

RE: Lake Lynn West Loop Improvements
Pre-Bid Meeting Agenda

1. Introduction

1.1 Sign-In Sheet

1.2 Introductions

1. Owner Introductions
 - a. Jaleel Alsarray – City of Raleigh
 - b. Kelly Ham – City of Raleigh
 - c. Mark Heinicke – City of Raleigh
 - d. Lisa Schiffbauer – City of Raleigh
2. Project Lead Introductions
 - a. Bentley Ruggles – Dewberry
 - b. Ellie Hair – Dewberry
 - c. Emily Dolatowski – Dewberry
3. Business Engagement and Opportunities Program (BEOP)
 - a. Pam Adderley – City of Raleigh

2. Bid Documents and Distribution

Bid Documents may be obtained via OneDrive shared file. Please contact Ellie Hair at ehair@Dewberry.com to obtain a link to the bid package. All addenda will be posted to NC eVP.

3. Minority and Woman-Owned Business Enterprise (MWBE) Requirements

Pursuant to N.C. General Statutes 143-128.2 and 143-131, bidders shall identify certified MWBE participation in their bids and document the Good Faith Efforts performed to identify certified MWBEs. The City's aspirational goal is 15% certified MWBE participation for construction projects of \$300,000 or more and \$100,000 or more that includes state funding.

All bidders are required to demonstrate a good faith effort to meet this goal, regardless of if a Bidder is itself a certified MWBE.

For more details regarding these requirements, refer to '**Information for Bidders Regarding Compliance**' included in the specification documents.

Questions related to the MWBE Policy can be directed to beop@raleighnc.gov

Required MWBE construction forms to be submitted with bid are noted in City's MWBE Program Information for Bidders document in the project manual.

4. Critical Items for Bidders

Time and date for receipt of bids is **2:00 PM, Thursday, June 11th, 2026**, to the attention of Jaleel Alsarray, Senior Project Manager at the City of Raleigh's Construction Management Division. The bid opening will take place at the Lake Lynn Community Center Studio Room at 7921 Ray Road, Raleigh, NC 27613, at the time and date noted above. **Bidders are encouraged to submit their bids at the bid opening location on the day of the bid opening at the bid opening.** Bids may also be delivered to Jaleel Alsarray at least 24 hours prior to the bid opening at the following address:

Jaleel Alsarray
City of Raleigh Engineering Services Construction Management – Parks Division
222 W. Hargett Street
Suite 400
Raleigh, NC 27601

Please be advised that bids sent by mail must allow adequate time to reach the recipient above. Mail received from USPS to the City of Raleigh PO Box can take days to reach the recipient and is not encouraged for bids. Late bids will not be accepted. Therefore, delivering the bid to the bid opening location on the day of the bid opening is encouraged. Alternatively, delivering the bid in person to Jaleel Alsarray at the address above at least 24 hours prior to the bid opening is also an option.

Bid opening will occur immediately following submission of the bids received at the time, date, and location noted above (2 PM on June 11th at the Lake Lynn Community Center).

The bid opening will follow the formal bidding process for public bids with the bids open, read aloud, and recorded.

Bids will be opened by a representative from Dewberry along with Project Managers from the City's Parks, Recreation and Cultural Resources Department and Engineering Department.

Bid documents and drawings requests should be directed to Ellie Hair at ehair@Dewberry.com.

All inquiries, questions, requests for substitution, and/or clarifications must be submitted in writing to Ellie Hair at ehair@Dewberry.com no later than **5:00 PM on June 2nd, 2026**. Substitution requests must show side by side comparison of specification requirements and how it is equal or better than the specified product.

Bid bond of 5% is required with formal bid. *No bid will be considered or accepted unless accompanied by this bid bond.*

Double-check to make sure all required forms are included with this submitted bid:

- **Bid Bond**
- **Bid Form**
 - o **Complete Acknowledgement of Addenda**
 - o **Complete Signature Page(s)**
 - o **Complete unit prices, allowances, alternate, and subcontractors**
- **Acknowledgment of MWBE Policy**
- **Identification of Certified MWBE Participation form**
- **Affidavit A or Affidavit B**
- **Contractor's Certificates, Affidavit of Organization, and Authority of Sworn Statement**
- **City of Raleigh Contractor's Poor Performance Policy**
- **Non-Collusive Affidavit**

- **Notice to Contractor Regarding Intrusion Beyond Contract Limits**
- **Evidence of Ability to do Business in the State of North Carolina (Contractor's License)**

5. Project Overview and Overall Scope of Work

This is one project for greenway improvements that consists of new asphalt pavement and gravel shoulders, new concrete approaches and seating pads, new boardwalk, new stormwater piping, new retaining wall, removal and partial reinstallation of signage, benches, bird houses, dog waste bag dispensers, and trash receptacles, and all other work indicated in the Contract Documents. Allowances #1 - #8 shall be included in the base bid price.

- Alternate #1: Boardwalk Realignment – installing the boardwalk with the alternate alignment as shown in the Contract Documents
- Alternate #2: Boardwalk with Steel Piles – installing the boardwalk with steel piles (rather than timber)

6. General Notes

This project is being bid as a Single Price Contract. All contractors must have a valid GC license in the State of North Carolina.

All work shall take place during normal business hours 8:00am – 5:00pm, Monday through Friday, unless written permission is obtained by the City in advance for alternate hours.

Particular attention must be given to noise control and construction activities and scheduling must be considered of portions of the greenway remaining in operation during construction and neighbors in the surrounding residential neighborhood.

City of Raleigh Development Services Site Plan and Building Permit reviews for the project have been completed. Tree protection and erosion control measures must be installed by the General Contractor and approved by the City Development Services and updated contractor information must be provided to Development Services for the permits to be issued. Contractor responsible for paying for the cost of permits and being reimbursed at cost through allowance in the bid form. Contractor must obtain all permits prior to moving forward with remainder of work after installing tree protection and erosion control measures. See specifications section 011000 for more information on requirements for obtaining and picking up City of Raleigh permits.

7. Description of the Project

The project will include the following, and all other work indicated in the Contract Documents:

- All clearing, grading, tree protection, storm drainage, erosion control measures, site demolition, and associated work.
- Installation of new greenway (asphalt paving, gravel shoulder, and concrete portions).
- Installation of new boardwalk.
- Delegated design items: retaining wall.
- Coordination with other contractors performing work on site: the contractor must coordinate with other contractors performing work onsite.

8. Project Schedule – Bidding and Construction

Contractor's questions received to date and minutes and questions from today's pre-bid meeting will be included in an addendum. All Addenda will be issued on NC eVP.

All inquiries, questions, requests for substitution, and/or clarifications must be submitted in writing to Ellie Hair at ehair@Dewberry.com no later than **5:00 PM on June 2nd, 2026**. Substitution requests must show side by side comparison of specification requirements and how it is equal or better than the specified product.

Bid Opening at **2:00 PM, Thursday, June 11th, 2026**.

Anticipated bid award and approval by City Council: **July 7th, 2026**.

Anticipated issuance of Notice to Proceed: **Aug 2026 (subject to change)**

The Contract time for construction is 280 consecutive calendar days from the Notice to Proceed (NTP) until substantial Completion. Final completion of the project shall be 320 days from NTP.

9. Expectations During Construction

- Portions of Lake Lynn Greenway Loop outside of the limits of construction will be open to the public during construction, so scheduling, site access and staging must be considerate of the surrounding neighborhood and greenway users.
- Attention to noise control and working hours of construction activities.
- Care and attention given to safety for greenway users.
- Appropriate consideration and measures to protect sensitive natural wooded, adjacent and in close proximity to construction site.
- Tree protection (distinction between tree protection and combined silt fence/tree protection fence).
- Attendance of GC and pertinent subs at regular project meetings as specified in the project manual.
- Appropriate communication channels and providing adequate notice of activities requiring additional coordination or lead time.
- Keep a clean and safe site.
- Meet all regulatory agencies' requirements.
- Quality workmanship [site, paving, and structural]
- Respectful attitude regarding working hours, work in Right of Way, considerate of neighbors etc.

10. Additional Comments

The City of Raleigh is in process of contracting with a Construction Materials Testing firm to provide the testing indicated to be conducted by the owner in the project manual. That contract will be in place prior to construction.

GC license is required to bid, evidence of current active licensed status must be provided.

Follow up after bidding – Affidavit C or D shall be provided by low bidder within 72 hours. Performance and payment bonds and certificate of insurance meeting the insurance requirements of the contract shall be required of selected bidder prior to execution of the Contract.

11. Follow Up

Addendum will be issued following Pre-Bid Meeting and will include minutes and answers to all questions.

12. Conduct Site Walkthrough

13. Questions / Any Other Items

Sign In Sheet

Owner:
Project Name:
Designer:
Date:
Time:
Location:

City of Raleigh
Lake Lynn West Loop Trail Improvements
Dewberry
Thursday, May 28th, 2026
1:00 PM
Lake Lynn Community Center Studio Room at 7921 Ray Road, Raleigh NC 27613



Contractor Name	Company/Organization	Phone	Email Address
BEN CINTOS	INTERCOSTAL MARINE	910-675-9791	ben@imofnc.com
Alvin Riccio	BAR Construction	336-274-2477	Bid@BARConstruction.com
Cooper Erickson (erickson)	CROSSROADS STE DEVELOPMENT	617-335-8751	cooper@crossroadsdevelopment.com
Benjamin Gibson	—	—	Thomas@crossroadsdevelopment.com
Darryll Smith	fred smith	984-775-1680	bgibson@fredsmithcompany.net
Jaheel Alsaarway	fred smith	919-614-4772	dsmith@fredsmithcompany.net
Pam Adderley	City of Raleigh	984-310-1003	jaheel.alsaarway@Raleigh.nc.gov
Thompson Brown	CITY OF RALEIGH	919 996 5740	benp@raleigh.nc.gov
Brett Dickey	Span Builders LLC	919-906-5176	Thompson@spanbuilders.net
BT Lanier	Cardinal Civil Contracting	984-365-3374	bdickey@CardinalCivil.com
MARK HEBINICK	Lanier Construction	252-286-6739	Bj@lanierconstruction.com
	CCR		

Plan Holders List

Project: Lake Lynn West Loop Trail Improvements
Client: City of Raleigh
Bid Date: 7/23/2026



Name	Company	Phone	Email	Interested in Bidding	Drawings Issued	PDF Copy	Paper Copy	Deposit	Check No.	Proof of receipt	Addendum 1
Sam Gore	Browecon	919-415-1616	sam.gore@browecon.com	YES	YES	x					
David Chopik	Barnhill Contracting Co.	984-245-4547	dchopik@barnhillcontracting.com	YES	YES	x					
Joseph Litaker	B Diamond Designs		joseph.litaker@bdiamonddesigns.com	YES	YES	x					
Tanner Baker	Baker’s Pro Construction, Inc.	252-904-4516	Tannerbaker05@gmail.com	YES	YES	x					
Kristy Pruitt	HM Kern	336-668-3213	estimating@hmkern.com	YES	YES	x					
Emily Gulledge	Crowder Construction Co.	704-348-1380	egulledge@crowderusa.com	YES	YES	x					
Erica Thomas	Crossroads Site Development		erica@crossroadssitedevelopment.com	YES	YES	x					
Garrius Jones	Lanier Construction Company, Inc.	252-747-8124	Garrius@lanierconstruction.com	YES	YES	x					
Austin Riccio	BAR Construction Co., Inc.	336-274-2477	Ariccio@barconstruction.com	YES	YES	x					
Carl Collie	Fred Smith Co.	919-901-8225	ccollie@fredsmithcompany.net	YES	YES	x					
Jessica Thomas	Construct Connect	513-458-5943	Jessica.Thomas@ConstructConnect.com	YES	YES	x					
Gianna Bingham	Cardinal Civil	984-383-9673	GBingham@cardinalcivil.com	YES	YES	x					
Stephen McAdams	Joe Moore & Co., Inc.	919-280-0385	s.mcadams@joemoorecompany.com	YES	YES	x					
Tony Hollins	HCS Inc.	919-761-3937	tony.hcsinc@gmail.com	YES	YES	x					
Kari Taylor	Carteret Marine Services	252-571-7282	kari@carteretmarine.com	YES	YES	x					
Cooper Erikson	Crossroads Site Development	919-606-5894	cooper@crossroadssitedevelopment.com	YES	YES	x					