

Section 5

Attachments and Forms

5.1

Bid Form (includes Schedule of Values) and Subject Property Information

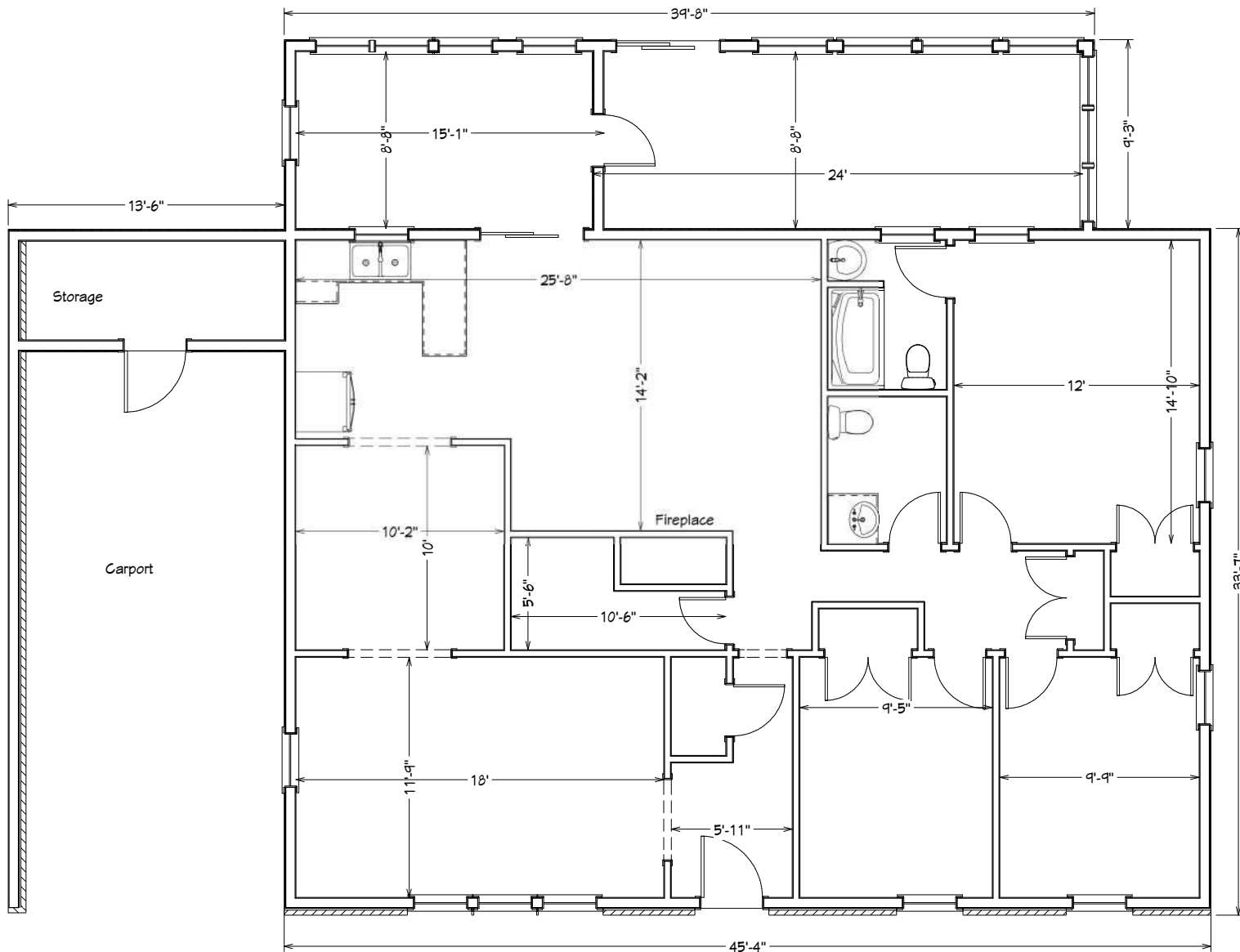
510 N Glen Dr, Raleigh, NC 27609



Brief Description:

510 N Glen Drive is a single level home that was built in 1963 with a total heated area is approximately 1,500 sf. Much of the exterior is brick veneer. Work includes:

- Demolition of the building
- Demolition of the, carport & shed
- Demolition of concrete drives and sidewalk near the house.
- Remove any brush or tree within 3'0 of the buildings.
- Erosion control
- Obtaining all permits.



Existing Floor Plan
510 N Glen Dr.
Raleigh, NC
LIVING AREA
1944 SQ FT

PROPERTY OF
PETER M. EKENSTIERNA & KIMBERLY TOSCH

PART OF LOT 1, BLOCK 1, NORTHGLEN

RALEIGH TOWNSHIP

510 NORTH GLEN DRIVE

WAKE COUNTY

SCALE: 1"=30'

RALEIGH, NORTH CAROLINA

REFERENCES: DEED BOOK 9952, PAGE 1727
BOOK OF MAPS 1962, PAGE 128

APRIL 8, 2026

SITE DATA TABLE

-PIN: 1706-54-5042

-ZONING: R-4

-OVERLAY DISTRICT: N/A

-INFILL STATUS: YES

-ALLOWABLE BUILDING
HEIGHT = 40' / 3-STORIES

-BUILDING SETBACK REQUIREMENTS:
(PER UDO SEC. 2.2.1.B.)

-PRIMARY STREET = 20 FEET

-SIDE STREET = 20 FEET

-SIDE LOT LINE = 10 FEET

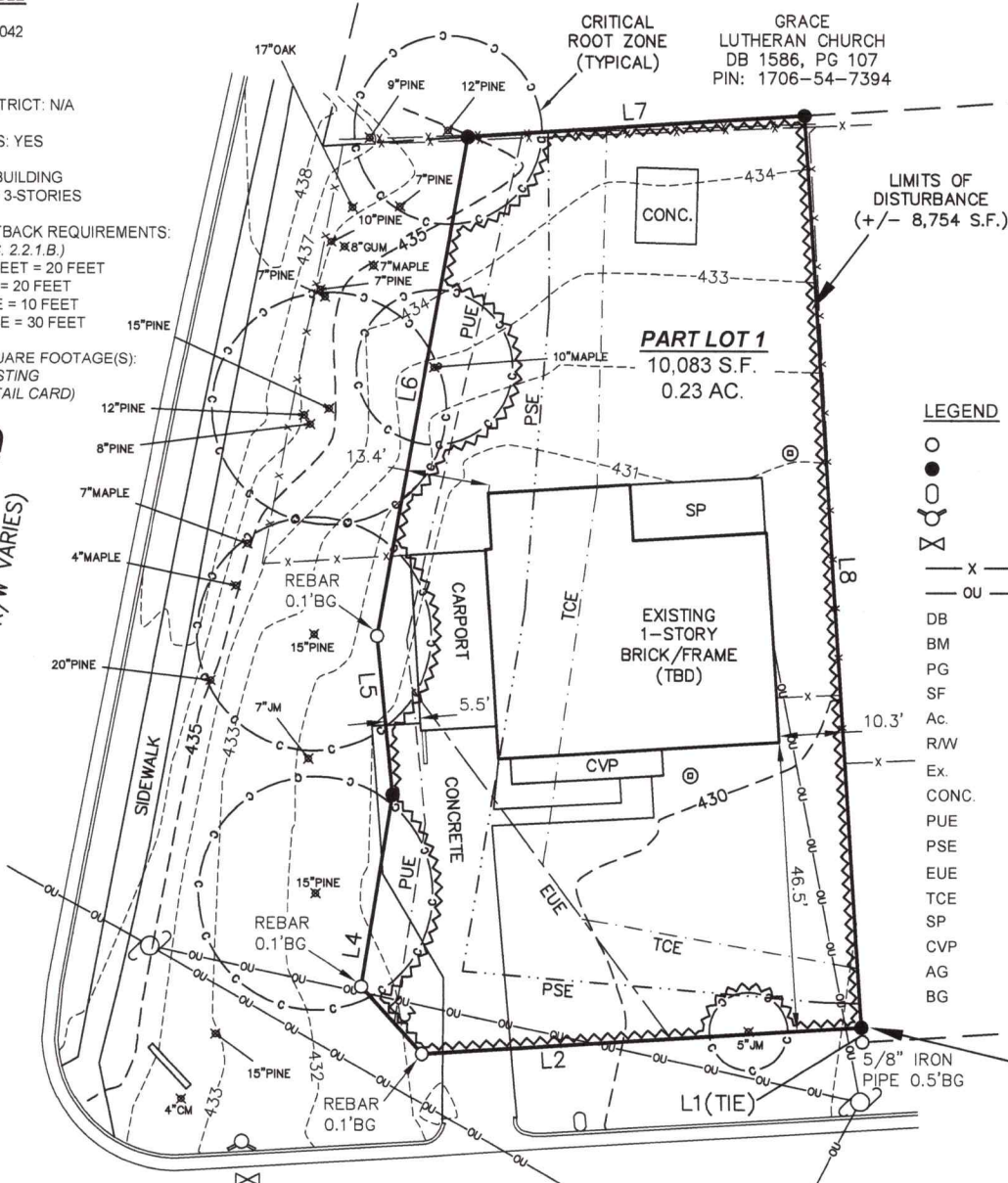
-REAR LOT LINE = 30 FEET

-BUILDING SQUARE FOOTAGE(S):

*1,452 S.F. EXISTING
(BUILDING DETAIL CARD)

SIX FORKS ROAD
(EX. PUBLIC R/W VARIES)

NC GRID NORTH
(NAD 83/2011)



NOTES:

- 1) All distances are horizontal ground in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.
- 2) The basis of all easements, right-of-way's, buffers, setbacks and adjoiners, etc., referenced from Book of Maps 1962, Page 128, Deed Book 19767, Page 2380 & Wake County GIS unless otherwise noted.
- 3) No investigation into the existence of jurisdictional wetlands or riparian buffers performed by Newcomb Land Surveyors.
- 4) Subject property is not located within a special flood hazard zone.
- 5) The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is $\pm 0.07'$.
VERTICAL DATUM = NAVD 88

LINE TABLE		
LINE	LENGTH	BEARING
L1	2.34	S 3°37'14" E
L2	70.45	S 86°28'7" W
L3	14.45	N 42°8'46" W
L4	31.21	N 9°7'16" E
L5	25.65	N 5°36'28" W
L6	81.54	N 10°13'4" E
L7	53.95	N 86°15'10" E
L8	146.78	S 3°37'14" E

IMPERVIOUS SURFACE AREAS

EXISTING HOUSE(FOOTPRINT): 2,356 S.F.
EXISTING DRIVEWAY/WALKWAY/OTHER AREAS: 963 S.F.
(TOTAL IMPERVIOUS SURFACE (EXISTING): 3,319 S.F.)
TOTAL AREA OF LOT: 10,083 S.F.
PERCENTAGE IMPERVIOUS (EXISTING): 32.92%



EXISTING CONTIONS PLAN FOR DEMO PERMIT APPLICATION
NOT FOR SALES, RECORDATION OR CONVEYANCES

NEWCOMB land surveyors, Llc, 7008 Harps Mill Road, Ste. 105, Raleigh, NC 27615
Phone (919) 847-1800, License # P-0203

This survey performed and map prepared without benefit of a title report. This survey subject to any facts and easements which may be disclosed by a full and accurate title search.

2610770
PIN: 1706-54-5042

I, Justin L. Luther, certify that this plat was drawn under my supervision from an actual survey made under my supervision from references as noted; that the boundaries not surveyed are clearly indicated as drawn from information noted under references; that the ratio of precision or positional accuracy exceeds 1:10,000; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600)

Witness my original signature, license number and seal this 8th day of April, 2026.

Professional Land Surveyor

L-5107

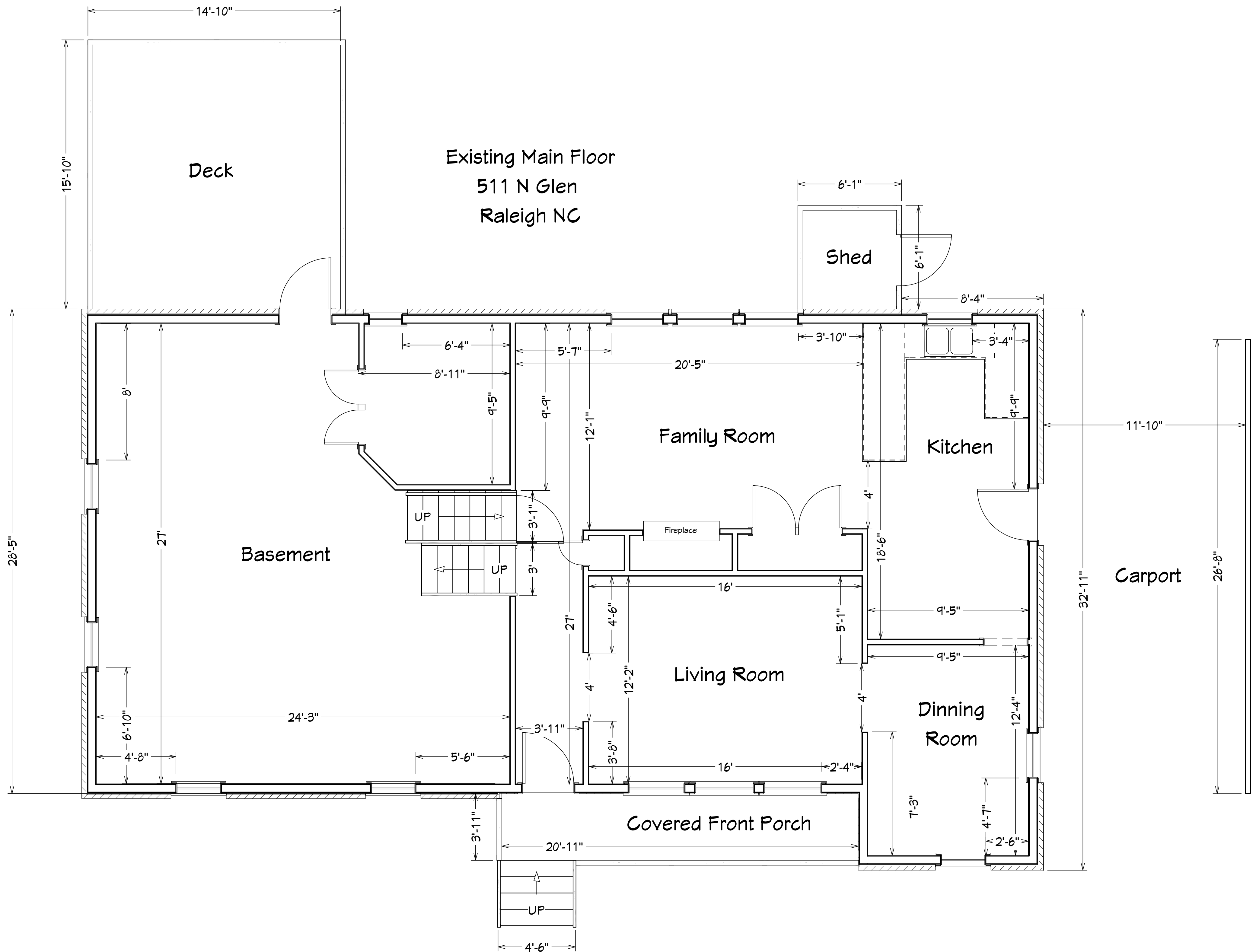
511 N Glen Dr, Raleigh, NC 27609



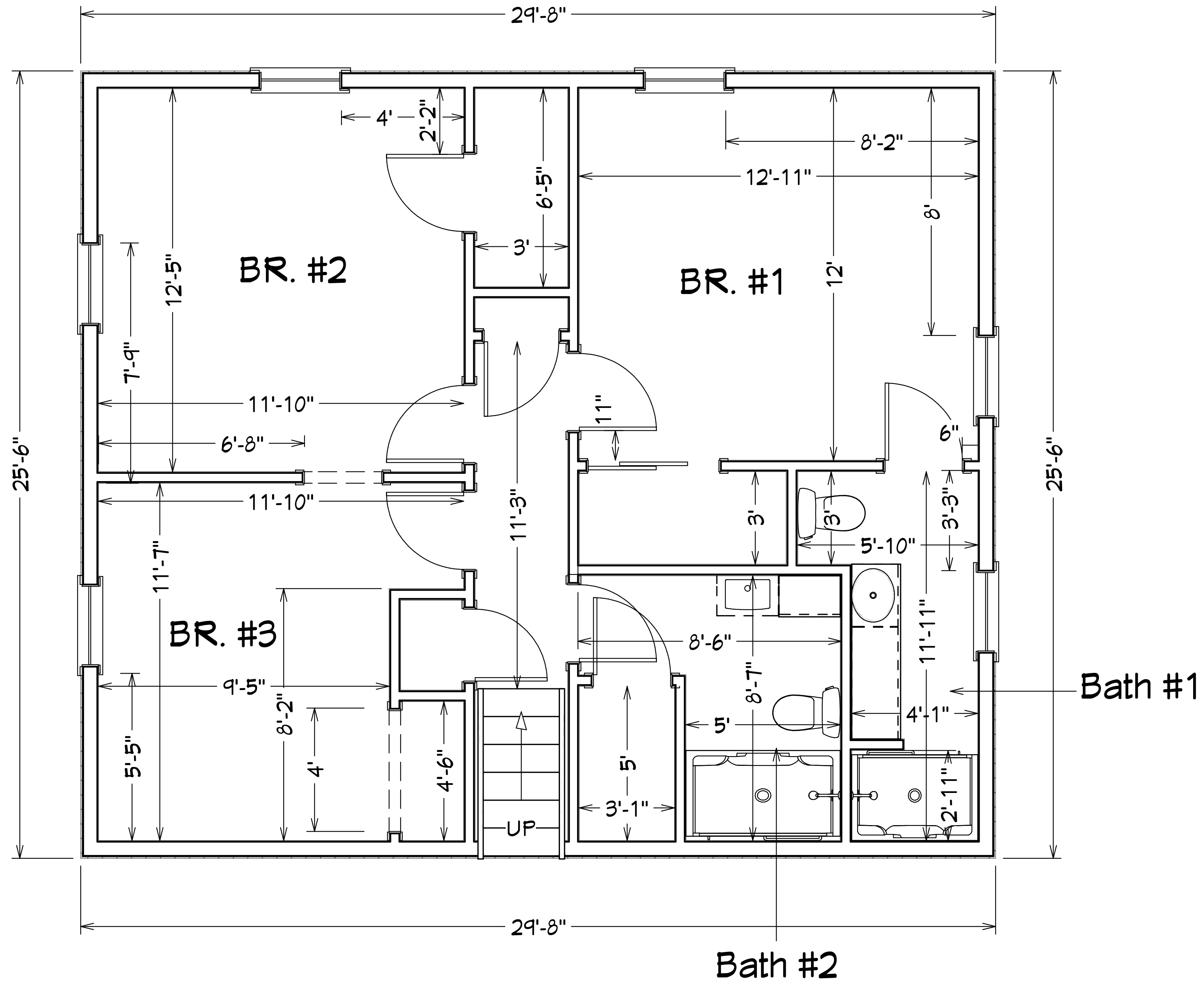
Brief Description:

This property is owned by the City of Raleigh. 511 N Glen Drive is a tri-level home that was built in 1963 with a total heated area is approximately 1,920 sf. Much of the exterior is brick veneer. Work includes:

- Demolition of the building
- Demolition of deck, carport & shed
- Demolition of concrete drives and sidewalk near the house.
- Remove any brush or tree within 3'0 of the buildings.
- Erosion control
- Obtaining all permits.



Existing Second
Floor
511 N Glen
Raleigh NC



PROPERTY OF
CITY OF RALEIGH

PART OF LOT 1, BLOCK 2, NORTHGLEN

RALEIGH TOWNSHIP

511 NORTH GLEN DRIVE

WAKE COUNTY

SCALE: 1"=40'

RALEIGH, NORTH CAROLINA

REFERENCES: DEED BOOK 19721, PAGE 1172
BOOK OF MAPS 1962, PAGE 128

APRIL 8, 2026

LEGEND

O	Ex. iron pipe/rod or nail
●	New iron pipe/nail
— X —	Fence
— OU —	Overhead utility
DB	Deed Book
BM	Book of Maps
PG	Page
SF	Square feet
Ac.	Acres
R/W	Right-of-way
Ex.	Existing
S	Shed
CVP	Covered porch
AG	Above ground
BG	Below ground

SITE DATA TABLE

-PIN: 1706-53-5824
-ZONING: R-4
-OVERLAY DISTRICT: N/A
-INFILL STATUS: YES
-ALLOWABLE BUILDING HEIGHT = 40' / 3-STORIES
-BUILDING SETBACK REQUIREMENTS:
(PER UDO SEC. 2.2.1.B.)
-PRIMARY STREET = 20 FEET
-SIDE STREET = 20 FEET
-SIDE LOT LINE = 10 FEET
-REAR LOT LINE = 30 FEET
-BUILDING SQUARE FOOTAGE(S):
*1,723 S.F. EXISTING
(BUILDING DETAIL CARD)

IMPERVIOUS SURFACE AREAS

EXISTING HOUSE(FOOTPRINT): 2,356 S.F.
EXISTING DRIVEWAY/WALKWAY/OTHER AREAS: 963 S.F.
(TOTAL IMPERVIOUS SURFACE (EXISTING): 3,319 S.F.)
TOTAL AREA OF LOT: 17,630 S.F.
PERCENTAGE IMPERVIOUS (EXISTING): 32.92%

NOTES:

- 1) All distances are horizontal ground in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.
- 2) The basis of all easements, right-of-way's, buffers, setbacks and adjoiners, etc., referenced from Book of Maps 1962, Page 128 & Wake County GIS unless otherwise noted.
- 3) No investigation into the existence of jurisdictional wetlands or riparian buffers performed by Newcomb Land Surveyors.
- 4) Subject property is not located within a special flood hazard zone.
- 5) The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is $\pm 0.07'$.
VERTICAL DATUM = NAVD 88
- 6) No trees exist in the right-of-way of either road.

EXISTING CONTIONS PLAN FOR DEMO PERMIT APPLICATION
NOT FOR SALES, RECORDATION OR CONVEYANCES

NEWCOMB land surveyors, Llc, 7008 Harps Mill Road, Ste. 105, Raleigh, NC 27615
Phone (919) 847-1800, License # P-0203

This survey performed and map prepared without benefit of a title report. This survey subject to any facts and easements which may be disclosed by a full and accurate title search.

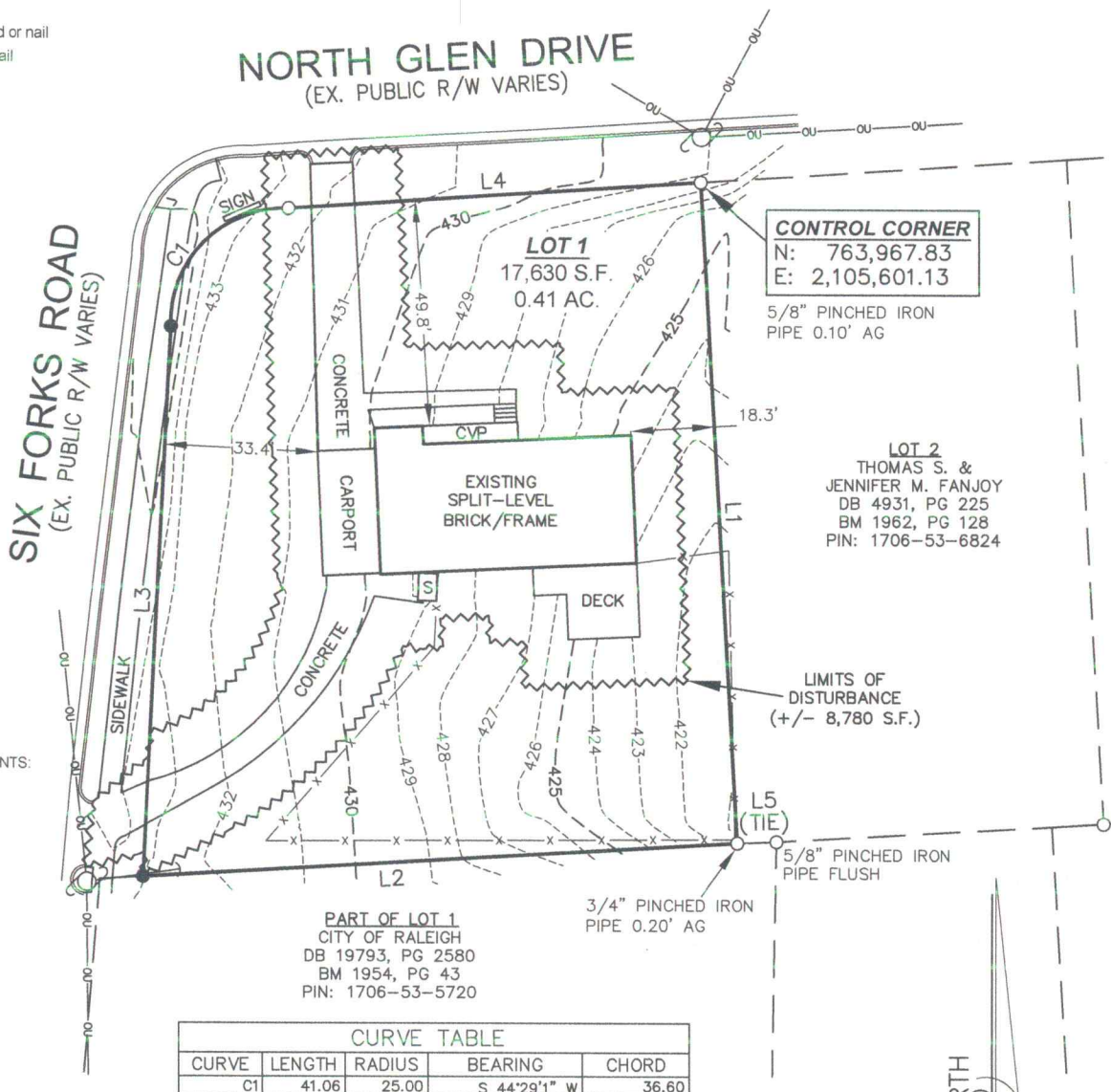
2610771
PIN: 1706-53-5824

I, Justin L. Luther, certify that this plat was drawn under my supervision from an actual survey made under my supervision from references as noted; that the boundaries not surveyed are clearly indicated as drawn from information noted under references; that the ratio of precision or positional accuracy exceeds 1:10,000; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600)

Witness my original signature, license number and seal this 8th day of April, 2026.

Professional Land Surveyor

L-5107



4824 Six Forks Road, Raleigh, NC 27609

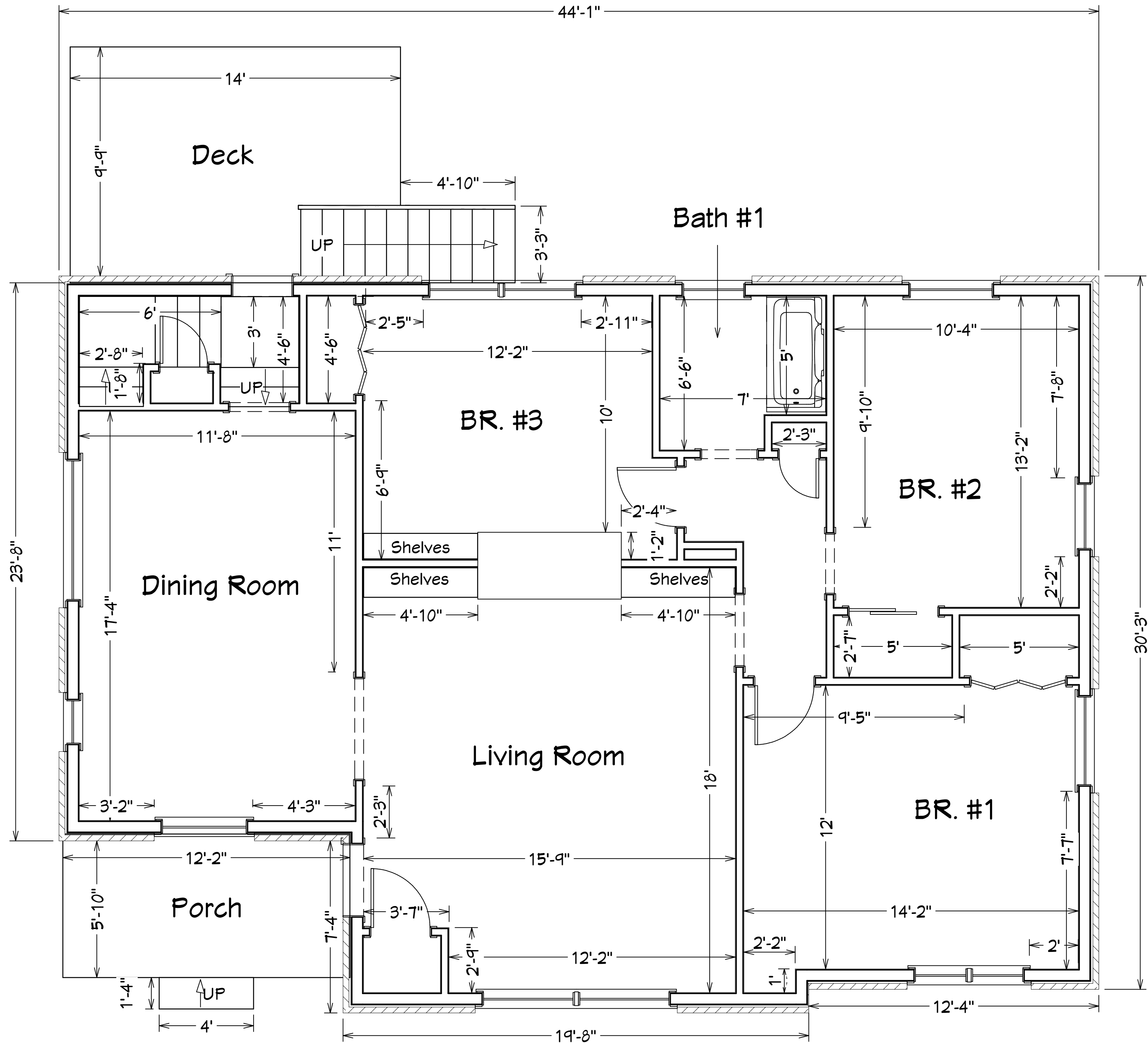


Brief Description:

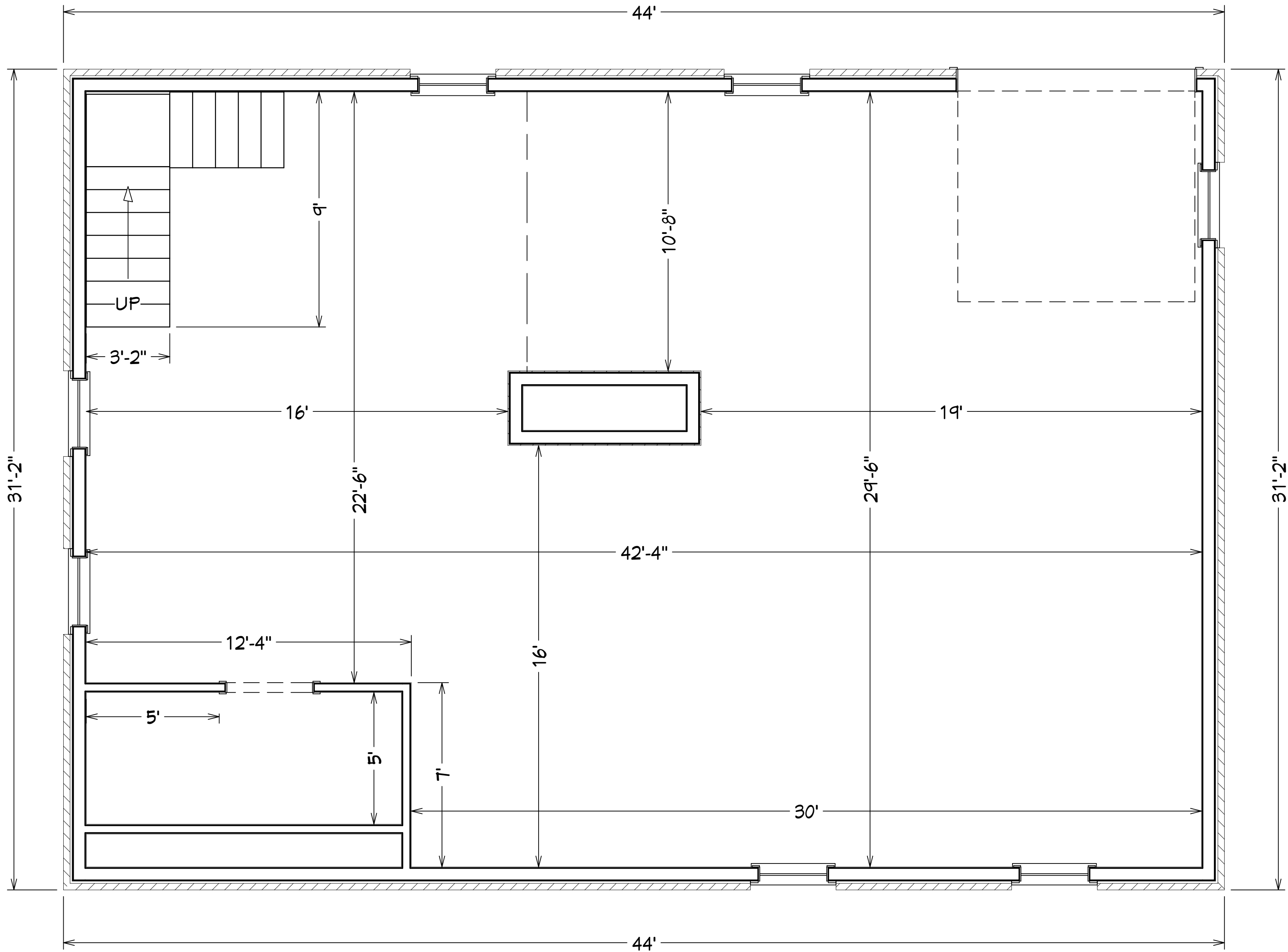
4824 Six Forks Road is a single level home with a full basement that was built in 1958 with a total heated area (including the basement) is approximately 2,600 sf. Much of the exterior is brick veneer. Work includes:

- Demolition of the building
- Demolition of the deck and all stairs
- Demolition of concrete drives and sidewalk near the house.
- Remove any brush or tree within 3'0 of the buildings.
- Erosion control
- Obtaining all permits.

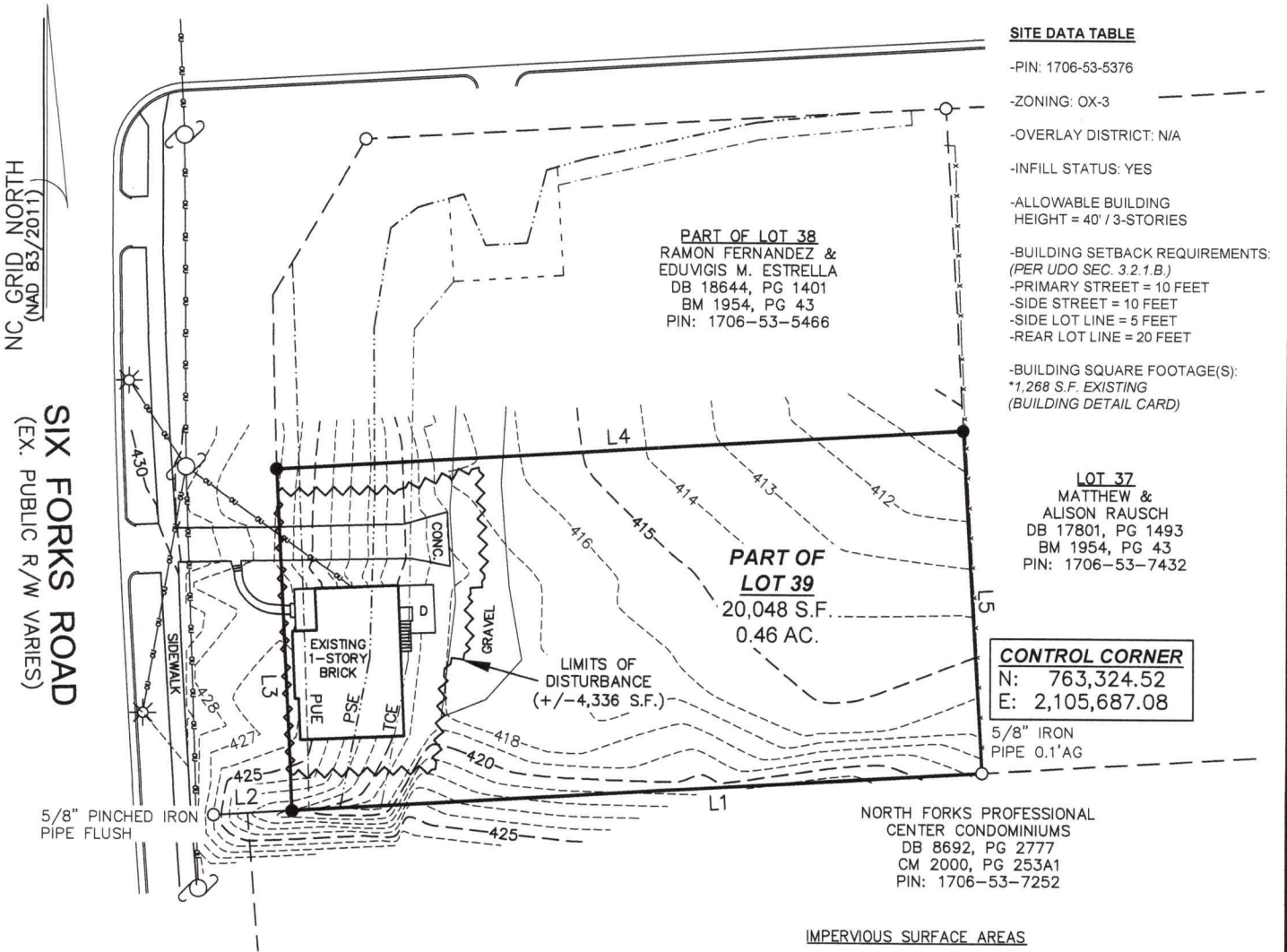
Existing Main Floor
4824 Six Forks
Raleigh NC



Existing Basement Floor
4824 Six Forks
Raleigh NC



PROPERTY OF
RAMON FERNANDEZ & EDUVIGIS M. ESTRELLA
PART OF LOT 39, NORTHWOOD
4824 SIX FORKS ROAD
SCALE: 1"=50'
REFERENCES: DEED BOOK 18644, PAGE 1380
BOOK OF MAPS 1954, PAGE 43
RALEIGH TOWNSHIP
WAKE COUNTY
RALEIGH, NORTH CAROLINA
APRIL 29, 2026



NOTES:

- All distances are horizontal ground in u.s. survey feet unless otherwise noted. Area(s) computed by coordinate geometry.
- The basis of all easements, right-of-way's, buffers, setbacks and adjoiners, etc., referenced from Book of Maps 1954, Page 43, Deed Book 19924, Page 2075 & Wake County GIS unless otherwise noted.
- No investigation into the existence of jurisdictional wetlands or riparian buffers performed by Newcomb Land Surveyors.
- Subject property is not located within a special flood hazard zone.
- The State Plane Coordinates for this project were produced with RTK GPS observations and processed using the North Carolina VRS network. The network positional accuracy of the derived positional information is $\pm 0.07'$.
VERTICAL DATUM = NAVD 88

LEGEND

O	Ex. iron pipe/rod or nail
●	New iron pipe/nail
— x —	Fence
— OU —	Overhead utility
DB	Deed Book
BM	Book of Maps
PG	Page
SF	Square feet
Ac.	Acres
R/W	Right-of-way
Ex.	Existing
CONC.	Concrete
PUE	Permanent utility easement
PSE	Permanent slope easement
TCE	Temporary construction easement
D	Deck
CVP	Covered porch
AG	Above ground
BG	Below ground

IMPERVIOUS SURFACE AREAS

EXISTING HOUSE(FOOTPRINT): 1,350 S.F.
EXISTING CONCRETE/WALKWAY/OTHER AREAS: 580 S.F.
EXISTING GRAVEL: 1,196 S.F.
(TOTAL IMPERVIOUS SURFACE (EXISTING): 3,126 S.F.)
TOTAL AREA OF LOT: 20,048 S.F.
PERCENTAGE IMPERVIOUS (EXISTING): 15.59%

LINE TABLE

LINE	LENGTH	BEARING
L1	200.93	S 86°34'12" W
L2(TIE)	22.87	S 86°34'12" W
L3	99.81	N 02°48'46" W
L4	200.03	N 86°27'17" E
L5	100.20	S 3°19'34" E



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Phone (919) 847-1800, License # P-0203

This survey performed and map prepared without benefit of a title report. This survey subject to any facts and easements which may be disclosed by a full and accurate title search.

2610802

I, Justin L. Luther, certify that this plat was drawn under my supervision from an actual survey made under my supervision from references as noted; that the boundaries not surveyed are clearly indicated as drawn from information noted under references; that the ratio of precision or positional accuracy exceeds 1:10,000; and that this plat meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600)

Witness my original signature, license number and seal this 29 day of April, 2026.

Professional Land Surveyor L-5107